

**Meeting Announcement and Agenda
Mt. Pleasant Planning Commission**

**Thursday, November 3, 2016 at 7:00 p.m.
City Hall Commission Chamber**

- I.** Roll Call: Dailey, Driessnack, Friedrich, Hoenig, Horgan, Irwin, Joseph, Kostrzewa, Liesch
- II.** Approval of Agenda:
- III.** Approval of Minutes:
 - A.** October 6, 2016 Regular Meeting
- IV.** Zoning Board of Appeals report – Monthly report for October:
- V.** Communications:
- VI.** Public Hearings:
 - A.** **SUP-16-14 – 1718-1722 S. Mission** – LaBelle Limited Partnership – Request to modify SUP-16-08 to extend the dumpster area to accommodate a recycling dumpster and grease containers.
 - B.** **SUP-16-15 – 206 W. Maple** – St. John’s Episcopal Church – Request for a Special Use Permit to allow Phase 1 construction of the Narthex to connect the Parish Hall and Church.
- VII.** Public Comments:
- VIII.** Site Plan Reviews:
 - A.** **SPR-16-22 – 206 W. Maple** – St. John’s Episcopal Church – Request for Site Plan Review to allow Phase 1 construction of the Narthex to connect the Parish Hall and Church.
- IX.** Unfinished Business:
 - A.** None
- X.** New Business:
 - A.** None
- XI.** Other:
 - A.** Staff report.
 - 1. Administrative Review report
 - 2. Zoning ordinance update
 - 3. December Planning Commission meeting – Anticipated agenda items
- XII.** Adjourn

All interested persons may attend and participate. Persons with disabilities needing assistance to participate may call the Personnel Office at 779-5314. A 48-hour advance notice is necessary for accommodation.

**Mt. Pleasant Planning Commission
Minutes of Regular Meeting
October 6, 2016**

I. Vice Chair Horgan called the meeting to order at 7:00 p.m.

Present: Dailey (arrived late), Driessnack, Friedrich, Horgan, Irwin, Joseph, Kostrzewa, Liesch.
Absent: Hoenig.

Staff: Kain, Murphy

II. Approval of Agenda:

Motion by Kostrzewa, support by Friedrich, to approve the agenda.

Motion approved unanimously.

III. Approval of Minutes

A. September 1, 2016 Regular Meeting:

Motion by Joseph, support by Irwin, to approve the minutes from the September 1, 2016 regular meeting as submitted.

Motion approved unanimously.

IV. Zoning Board of Appeals Report for September:

Commissioner Friedrich reported that the Zoning Board of Appeals (ZBA) heard one case in September. The Meijer store on Pickard Street wants to remodel the building. As part of that remodel the facade improvements would increase the square footage in the store by 2,559 square feet. The increase in the size of the building would require them to comply with current parking standards mandating a total of 1,488 spaces. There are currently 950 spaces. The applicant was requesting a variance to allow fewer parking spots than are required by code. Though it would be possible on the lot to accommodate the mandated number of spaces the applicant showed that historically, both the Mt. Pleasant store and other Meijer stores throughout the Midwest, have used an average of about 760 spaces at peak times. In addition, the added parking would increase the amount of impervious surface on the property and greatly reduce the green space. In light of these findings, the Zoning Board granted the request with the addition that the applicant work with city staff to ensure adequate bike parking at the location.

V. Communications: There were no communications to report on at this time.

VI. Public Hearings:

A. SUP-16-12 - 1016 S. Main.

Kain introduced SUP-16-12 submitted by Curt Carson on behalf of Delta Alpha Association, requesting approval to install a fence at an existing registered student organization dwelling at 1016 S. Main Street.

Kain shared an overview of the site, noting the property is located on the west side of Main Street between Bellows and Gaylord Streets. The property is zoned M-2 Multi-family as are surrounding properties. Future land use is Multiple Residential (Medium).

Kain shared a photo of the site, noting that this site went through the redevelopment process under the old M-2 redevelopment standards and continues to meet the criteria for the Special Use Permit under the new guidelines. The applicant is looking to add a fence in the front yard. Kain reported that the use is permitted in the district subject to a special use permit. Kain shared the conditions that are required for the SUP, noting that the request meets all these requirements.

Kain reviewed the fence regulations from the Ordinance, noting that fences in the front yard are allowed when they are no more than four feet tall and no more than 75% solid. Kain noted that the request is in line with these standards, with the fence proposed to be 4 ft. high and less opaque than the code maximum.

Kain shared the fence specifications that were submitted by the applicant, along with the site plan, noting the area where there is currently a fence.

Staff concluded his report recommending approval.

Commissioner Joseph questioned whether there would be any sharp points on the fence. Kain noted it would be flat on top and also noted that the request was reviewed by the Department of Public Safety, and they were very supportive of the proposal.

Ross Pope, representing the applicant, addressed the Board, offering to answer any questions.

Commissioner Irwin asked why they decided to put up a fence. Mr. Pope indicated that it was to prevent uninvited guests from trespassing through and/or congregating in the yard. He noted that during the busier weekends, they have put up snow fence; however would like something that looked nicer and was more of a permanent solution.

Vice-Chair Horgan opened the public hearing. There being no one who wished to speak, the public hearing was closed.

Board Discussion:

Motion by Joseph, support by Irwin, to approve SUP-16-12.

Motion approved unanimously.

B. SUP-16-13 - 1005 & 1007 S University.

Kain introduced SUP-16-13 submitted by Olivieri Builders on behalf of United Apartments, requesting a SUP to raze the existing buildings and construct two two-unit rooming dwellings with 16 total occupants (4 per dwelling unit).

Kain reviewed the M-2 redevelopment process including the role of the Planning Commission and Zoning Board of Appeals in the process and the applicable review criteria.

Commissioner Joseph asked for clarification regarding this process, noting that when the ZBA makes the decision to allow variances and/or to allow an increase in occupancy, then the PC has no say over that. Kain confirmed that once the ZBA makes that decision, it then becomes conforming.

Commissioner Irwin asked if this project was turned down in the past and questioned why it went to the ZBA first. Kain responded that the site went through the SUP process back in 2005; however, any new decision by the Planning Commission would trump the 2005 decision. He further noted that it went to the ZBA first as it is a non-conforming redevelopment, which requires review by both bodies.

Kain noted that the property is located on the east side of University Street, between Bellows and Gaylord, a few houses north of the former SBX Bookstore. The property is zoned M-2 Multiple Family as are surrounding properties. Future land use is Multiple Residential (Medium). Kain further noted that the proposed use as a rooming dwelling is a permitted use in the M-2 zoning district subject to a SUP.

Kain shared photos of the current site conditions, noting that there are currently two principal dwelling units and two accessory dwelling units on the site. The proposal would replace the four dwelling units with two principal buildings with two units each, four occupants per unit, for a total of 16 occupants.

Kain noted that staff worked with the applicant to assure that the new buildings would not look identical. Some of the differences include staggered setbacks, variation in landscaping, orientation of the sidewalks, and significant architectural and color variation.

Kain reported that in 2005 the Planning Commission required that the properties be combined into one zoning lot, with deed restrictions to prevent the property from being split. To meet code, the Planning Commission will need to lift the deed restriction and require the lots to be split into the original platted lots.

Kain noted that each property will have a paved area, a bike rack and trash enclosure. The applicant has proposed stacked parking with curbing to prevent yard parking. The redevelopment will eliminate the driveways from University and all parking will be accessed from the alley. In addition, the applicant has proposed an underground stormwater detention system.

Kain shared the elevation drawings for both buildings, noting the varied heights, and reviewing the level of detail on the buildings and the upgraded building materials.

Kain reviewed the conditions for rooming dwellings under Section 154.054 of the zoning ordinance, noting that all have been met, and further commented that the structural and housing requirements would be addressed during the building permit review process.

Kain reviewed the site plan requirements, noting that the height, bulk and density requirements have all been met, with the reduction in land area per occupant being approved by the ZBA. The ordinance requires 16 parking spaces and 16 have been proposed. In addition, it was noted proposed placement and screening for trash receptacles meets the zoning requirements.

Staff concluded his report recommending approval of the SUP and approval of the site plan with the conditions noted in the staff report and as discussed.

Commissioner Dailey asked for clarification on driveway access. Kain reiterated that there would be no access to the sites from University Street.

Commissioner Driessnack asked if that would allow for an additional parking space along University Street. Kain noted that was a possibility.

Commissioner Irwin asked about the rationale for not having basements. Kain clarified that both buildings would have a basement and referred to the floor plans in packets.

Joe Olivieri, applicant, addressed the board, offering to answer questions.

Commissioner Dailey asked about the hardie board. Mr. Olivieri stated that although it is pricey, it is a very durable product and basically maintenance free and comes in different colors.

Vice-Chair Horgan opened the public hearing. There being no one who wished to speak, the public hearing was closed.

Motion by Liesch, support by Driessnack, to approve SUP-16-13.

Motion approved unanimously.

VII. Public Comments:

Vice-Chair Horgan opened the floor for public comments. There being no one who wished to speak, public comments was closed.

VIII. Site Plan Reviews:

A. SPR-16-16 - 1016 S. Main.

Kain noted that there was nothing further to report as this case was covered under SUP-16-12.

Motion by Friedrich, support by Liesch, to approve SPR-16-16.

Motion approved unanimously.

B. SPR-16-18 - 1005 & 1007 S. University.

Kain reminded the Board that the recommendation for approval of this request includes three conditions as previously discussed.

Commissioner Kostrzewa asked if there were any mature trees on this property that would have to come down and if so, was there any plan to replace them. Kain noted that there is currently very little green space on the site and no mature trees would be lost. He further noted that one street tree will be added, and there would be trees added in the back as well.

Commissioner Friedrich asked about the location of the underground water retention. Kain responded that it would be located between the parking areas.

Motion by Friedrich, support by Liesch, to approve SPR-16-18 with the following conditions:

1. The Planning Commission authorizes the removal of the existing deed restriction that prohibits resplitting of the subject property as required by the Planning Commission on September 1, 2005.
2. The tax parcel must be split as shown on the proposed site plan prior to occupancy.
3. The applicant shall comply with the requirements of the Divisions of Public Works (DPW) and Public Safety (DPS).

Motion approved unanimously.

IX. Unfinished Business:

None.

X. New Business:

None.

XI. Other:

A. Administrative Review Report:

Kain reported that one site plan (SPR-16-20) for 1217 N. Mission received approval through the administrative review process to allow the construction of a pavilion, new deck, and paving of driveways for an existing industrial site.

Kain noted that the Meijer project will likely fall within the threshold for Administrative Review and therefore may not come before the Planning Commission.

B. Zoning Ordinance Consultant Update:

Kain thanked all who participated in the interviews and kick-off ceremony with the consultants. He further noted that the presentation was available on the City's YouTube channel for anyone who was unable to attend and was interested in seeing it.

Kain noted that the next event: *Planapalooza*, will take place over a four day stretch, from November 18th through the 21st, starting with a 7:00 p.m. presentation and workshop on the 18th. The weekend will be an open design studio, which will continue throughout the day on Monday. On Monday evening, November 21st at 7:00 p.m. there will be a closing presentation. Kain noted that more information regarding weekend times, etc., would be sent out once the plans are finalized. He noted this visit will be designed to encourage intensive public involvement and will be a participatory event, not a "sit and listen" event. He noted that Commissioners are not expected to be here the entire time; however, they are encouraged to participate throughout the weekend and encourage others to attend as well.

C. November Planning Commission Meeting:

Kain noted that we have not received any applications at this time; however the deadline isn't until Monday.

XII. Adjournment:

Motion by Dailey, support by Liesch, to adjourn.

Motion approved unanimously. Meeting adjourned at 7:45 p.m.

bam



Planning Commission Staff Report

Special Use Permit 16-14

November 3, 2016

Reviewer: Jacob Kain, City Planner *JVK*

APPLICANT: LaBelle Limited Partnership

PROPERTY OWNER: LaBelle Properties LLC

LOCATION: 1718-1722 S. Mission Street

REQUEST: Request to modify Special Use Permit under the Mission Redevelopment Overlay Zone to extend the dumpster area to accommodate a recycling dumpster and grease containers.

SITE AREA: 1.25 acres

ZONING DISTRICT: C-3, General Business

FUTURE LAND USE: Commercial / Mission Overlay Redevelopment District

BACKGROUND:

You may recall that the Planning Commission previously approved Special Use Permit 16-08 for this property under the Mission Redevelopment Overlay Zone on August 4, 2016. The applicant is requesting modification of that approval to permit construction of a larger dumpster and grease container enclosure on the site which will result in the elimination of one parking space.

The approved project – which is currently under construction – includes a mixed use building with commercial and residential uses. A three-story building would front Mission Street and include 8,140 square feet of commercial space with drive-through on the ground level and four, four-bedroom dwelling units on the second and (partial) third floor. The project also includes construction of a new connector street between S. Mission Street and E. Campus Drive that is intended to be dedicated to the City upon completion.

Land uses and zoning on the surrounding properties are as follows:

	Land Use	Zoning
North	Commercial / Mission Overlay Redevelopment District	C-3, General Business
East	Commercial / Mission Overlay Redevelopment District	C-3, General Business
South	Commercial / Mission Overlay Redevelopment District	C-3, General Business
West	Central Michigan University	U, University

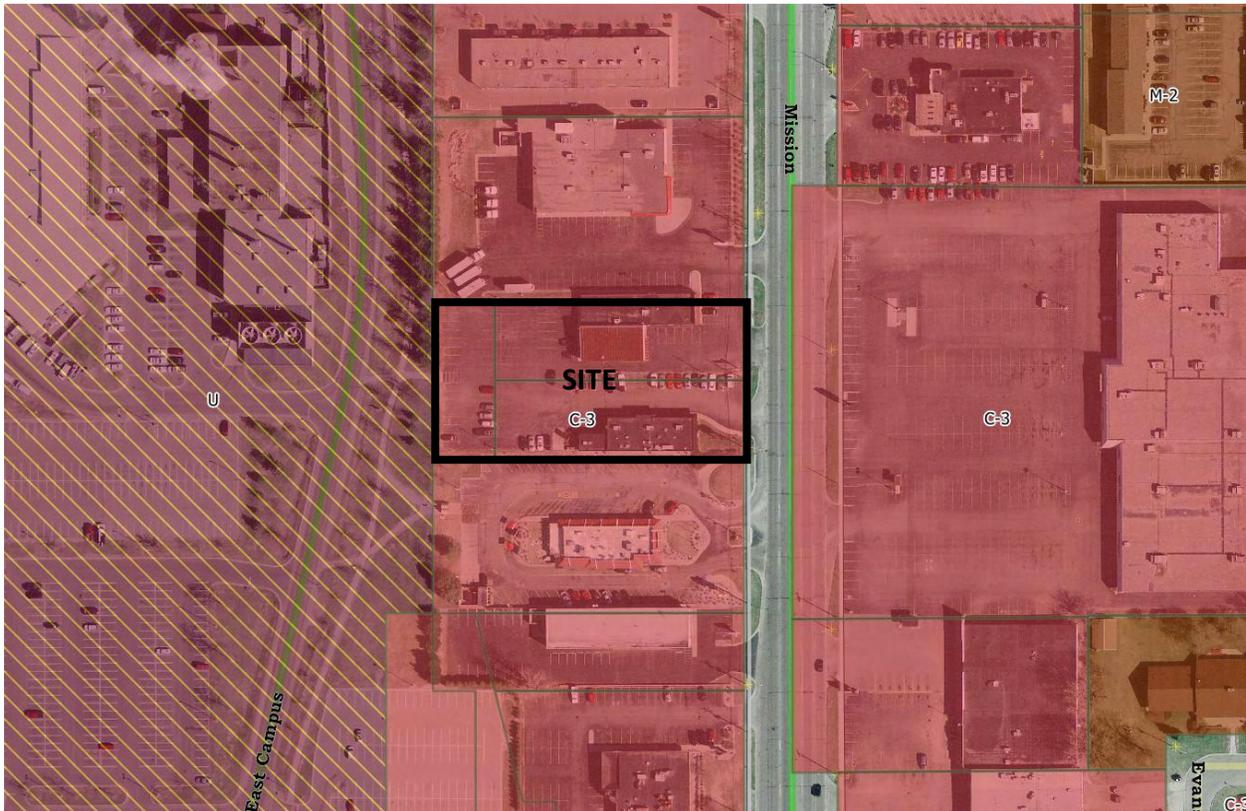


Figure 1. Zoning and overview map

MISSION REDEVELOPMENT OVERLAY ZONE:

Section 154.068 (*Mission Redevelopment Overlay Zone*) of the zoning ordinance provides for flexible redevelopment standards for certain properties within the C-3 General Business District in order to advance a preferred form of development that includes “more innovative, architecturally interesting, walkable, and accessible buildings and site lay-outs” with “mixed use buildings, mixed use developments, and residential uses ... encouraged as a means to diversify the economic base of the Mission Street area and encourage its revitalization.”

Development projects seeking approval under the flexible standards of the Mission Redevelopment Overlay Zone are approved through a Special Use Permit, with the associated site plans and elevations approved through the same.

SITE PLAN REVIEW:

Plan Information – The proposed site conditions comply with all plan information requirements listed in Section 154.169(C) of the zoning ordinance including preparation at a readable scale, and location and use of existing and proposed structures.

Parking – The proposed project is consistent with the minimum quantity, dimension, and construction standards for the proposed use.

Section 154.120 of the zoning ordinance (*Schedule of Minimum Spaces*) requires the following quantities of parking for each proposed use:

Use	Requirement	Proposed
Rooming and boarding dwellings <i>1 space per occupant</i>	16	
Shopping Center <i>1 per 170 square feet</i>	50	
TOTAL	66	79

Dumpster Enclosures – The proposed site plan provides for an enlarged masonry dumpster enclosure to replace the previously approved dumpster enclosure. The new proposed enclosure remains consistent with the minimum standards for screening and placement found in Section 154.025 of the zoning ordinance (*Dumpster Enclosures*).

DIVISION COMMENTS:

Division of Public Works (DPW) – DPW comments are attached.

Division of Public Safety (DPS) – No comments.

ANALYSIS:

The proposed changes to this project do not impact the goals and objectives of the Mission Redevelopment Overlay Zone or affect the project’s qualification as a *preferred development project*. No additional waivers are required. The proposed conditions are consistent with the character of the area and with the future land use identified in the Master Plan.

With the findings and analysis stated in this report, the following actions are offered for consideration by the Planning Commission.

STAFF RECOMMENDATION:

Move to approve SUP-16-14 subject to the following conditions:

1. All conditions of SUP-16-08 remain in effect.
2. The applicant shall comply with the requirements of the Division of Public Works (DPW).

VIII. SITE PLAN REQUIREMENTS

Site plans for Special Use Permits of more than one acre land shall be sealed by a licensed surveyor, engineer, architect, or community planner, unless specifically waived by the City. Site plan requirements are outlined in Part VIII of the Site Plan Review Application.

IX. APPLICATION DEADLINES

Planning Commission meetings are generally held on the first Thursday of the month at 7:00 p.m. in the City Hall Commission Chambers. The submission deadline for each meeting is described in the attached Planning Commission meeting calendar.

Upon receipt of a complete application and installation of a Zoning Issue sign at the property site (see guidelines for placement), the Planning Commission will hold a public hearing at its next regular meeting. Notice will be published in the Morning Sun and mailed to all property owners within 300 feet of the subject property.

Following the public hearing, the Planning Commission may approve, deny, or approve the request with conditions. Conditions imposed by the Planning Commission are considered an integral part of the Special Use Permit.

X. REVIEW CRITERIA

The Zoning Ordinance imposes the following general requirements on the use requested by the applicant (see Section 154.171 (A) for details). Under each requirement, the applicant should explain, in writing with supporting evidence, how the proposed use satisfies the requirements. For those requirements where there is potential for negative or adverse effects, applicant will propose measures to mitigate such effects.

- (1) The special use shall be one listed as a permitted special use for the zoning district in which the property is located and the special use shall be consistent with the intent and purpose of this chapter and the objectives of the currently adopted Master Plan.

The Project site is located in the Mission Redevelopment Overlay Zone and is zoned C-3. All project elements will comply with the provisions of the Mission Redevelopment Overlay Zone.

- (2) The special use shall be designed, constructed and maintained in a manner which reflects or enhances the character of the surrounding neighborhood within 300 feet measured lot line to lot line. The special use shall be operated in a manner compatible with surrounding land uses within 300 feet. Compatibility includes, but is not limited to, hours of operation and environmental effects (e.g. noise, light, traffic, intensity of use, density).

Currently complies

- (3) Applicant shall demonstrate how the exterior structure is compatible with the surrounding area (defined as adjacent and/or abutting properties including those properties separated by streets alleys or other rights-of-way) and how the use is compatible with surrounding land uses.

We will be using the same materials as previously approved

- (4) The special use shall not interfere with the general enjoyment of the surrounding area (defined as adjacent and/or abutting properties including those properties separated by streets alleys or other rights-of-way).

The proposed use will not adversely affect the surrounding areas

- (5) The applicant shall indicate how the special use will not have an adverse impact on the surrounding neighborhood within 300 feet in regards to traffic, noise, architectural compatibility, hours of operation, light, odors, etc.

The proposed project included a inter-connector street between Mission Street and E. Campus Drive. This street will help eliminate traffic congestion along Mission Street. The building architecture will complement the future goals of the City for this area. Hours of Operation will be no different than the other properties within the area.

- (6) The special use shall not be hazardous to the adjacent property, or involve uses, activities, materials or equipment which will be detrimental to the health, safety, or welfare of persons or property through the excessive production of traffic, noise, smoke, odor, fumes or glare.

The proposed use will not be hazardous

- (7) The special use shall be adequately served by the existing capacity of essential public facilities and services, or it shall be demonstrated that the person responsible for the proposed special use shall be able to continually provide adequately for the services and facilities deemed essential to the special use under consideration.

The existing capacity of the public facilities will be adequate to service the proposed project

BM #1 EL. 791.46 (NAVD88)
ARROW AT TOP OF CASTING OF HYDRANT
WEST SIDE OF MISSION STREET



FLEIS & WANDENBRINK
DESIGN, BUILD, OPERATE

2125 Ridgewood Dr, Suite 101
Midland, MI 48642
P: 989.837.3280
F: 989.837.3290

Revised per City Review
7/18/16 DRS
Eliminate Rear Building
6/11/16 D.J.D.
CMT Revisions
12/2/16 DRS
Reroute Storm Sewer
10/29/16 D.J.D.
Revised Dumpster Size
9/21/16 DRS
Revised San & Water Leads
8/22/16 DRS
Issued for Construction

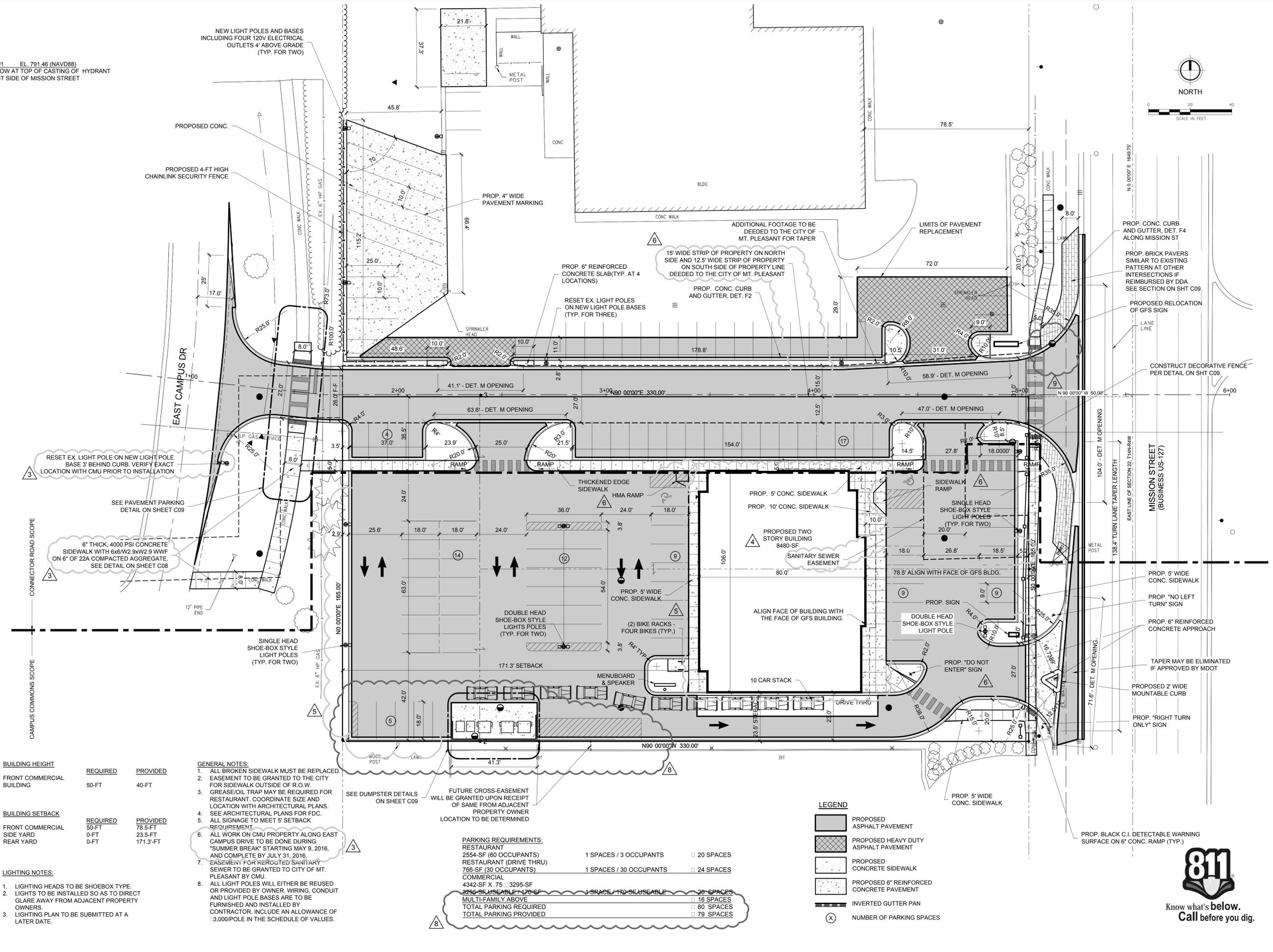
LABELLE LIMITED PARTNERSHIP
MISSION STREET, MT. PLEASANT, MI
CAMPUS COMMONS - SITE DEV. PACKAGE
SITE PLAN

DESIGN TEAM
GOS DRS
CHECK BY:

DRAWING INFORMATION:
822090-C04-Site Plan
100316.dwg/iss

JUNE 2016
FAV PROJECT NO.
822090

C04



BUILDING HEIGHT	REQUIRED	PROVIDED
FRONT COMMERCIAL BUILDING	50-FT	40-FT

BUILDING SETBACK	REQUIRED	PROVIDED
FRONT COMMERCIAL	50-FT	78.5-FT
SIDE YARD	0-FT	23.5-FT
REAR YARD	0-FT	171.3-FT

- LIGHTING NOTES:**
- LIGHTING HEADS TO BE SHOEBOX TYPE.
 - LIGHTS TO BE INSTALLED SO AS TO DIRECT GLARE AWAY FROM ADJACENT PROPERTY OWNERS.
 - LIGHTING PLAN TO BE SUBMITTED AT A LATER DATE.

- GENERAL NOTES:**
- ALL BROKEN SIDEWALK MUST BE REPLACED.
 - EASEMENT TO BE GRANTED TO THE CITY FOR SIDEWALK OUTSIDE OF R.O.W.
 - GREASE/OIL TRAP MAY BE REQUIRED FOR RESTAURANT. COORDINATE SIZE AND LOCATION WITH ARCHITECTURAL PLANS.
 - SEE ARCHITECTURAL PLANS FOR FDC.
 - ALL SIGNAGE TO MEET 5' SETBACK REQUIREMENT.
 - ALL WORK ON CMU PROPERTY ALONG EAST CAMPUS DRIVE TO BE DONE DURING "SUMMER BREAK" STARTING MAY 9, 2016, AND COMPLETE BY JULY 31, 2016.
 - EASEMENT FOR REROUTED SANITARY SEWER TO BE GRANTED TO CITY OF MT. PLEASANT BY CMU.
 - ALL LIGHT POLES WILL EITHER BE REUSED OR PROVIDED BY OWNER. WIRING, CONDUIT AND LIGHT POLE BASES ARE TO BE FURNISHED AND INSTALLED BY CONTRACTOR. INCLUDE AN ALLOWANCE OF 3,000/POLE IN THE SCHEDULE OF VALUES.

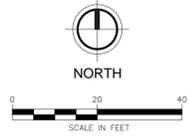
PARKING REQUIREMENTS:

RESTAURANT	2554-SF (60 OCCUPANTS)	1 SPACES / 3 OCCUPANTS	20 SPACES
RESTAURANT (DRIVE THRU)	766-SF (30 OCCUPANTS)	1 SPACES / 30 OCCUPANTS	24 SPACES
COMMERCIAL	4342-SF X .75 = 3256-SF	1 SPACE / 170-SF USEABLE	20 SPACES
MULTI-FAMILY ABOVE	2235-SF USEABLE = 120-SF		16 SPACES
TOTAL PARKING REQUIRED			80 SPACES
TOTAL PARKING PROVIDED			79 SPACES

- LEGEND**
- PROPOSED ASPHALT PAVEMENT
 - PROPOSED HEAVY DUTY ASPHALT PAVEMENT
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED 6" REINFORCED CONCRETE PAVEMENT
 - INVERTED GUTTER PAN
 - NUMBER OF PARKING SPACES



BM #1 EL. 791.46 (NAVD88)
 ARROW AT TOP OF CASTING OF HYDRANT
 WEST SIDE OF MISSION STREET



2125 Ridgewood Dr. Suite 101
 Midland, MI 48642
 P: 989.837.3280
 F: 989.837.3290

8/11/16	DRS	
7/18/16	DJD	
6/11/16	DJD	
12/2/15	DRS	
10/29/15	DRS	
9/29/15	DJD	
9/21/15	DRS	
8/22/15	DRS	

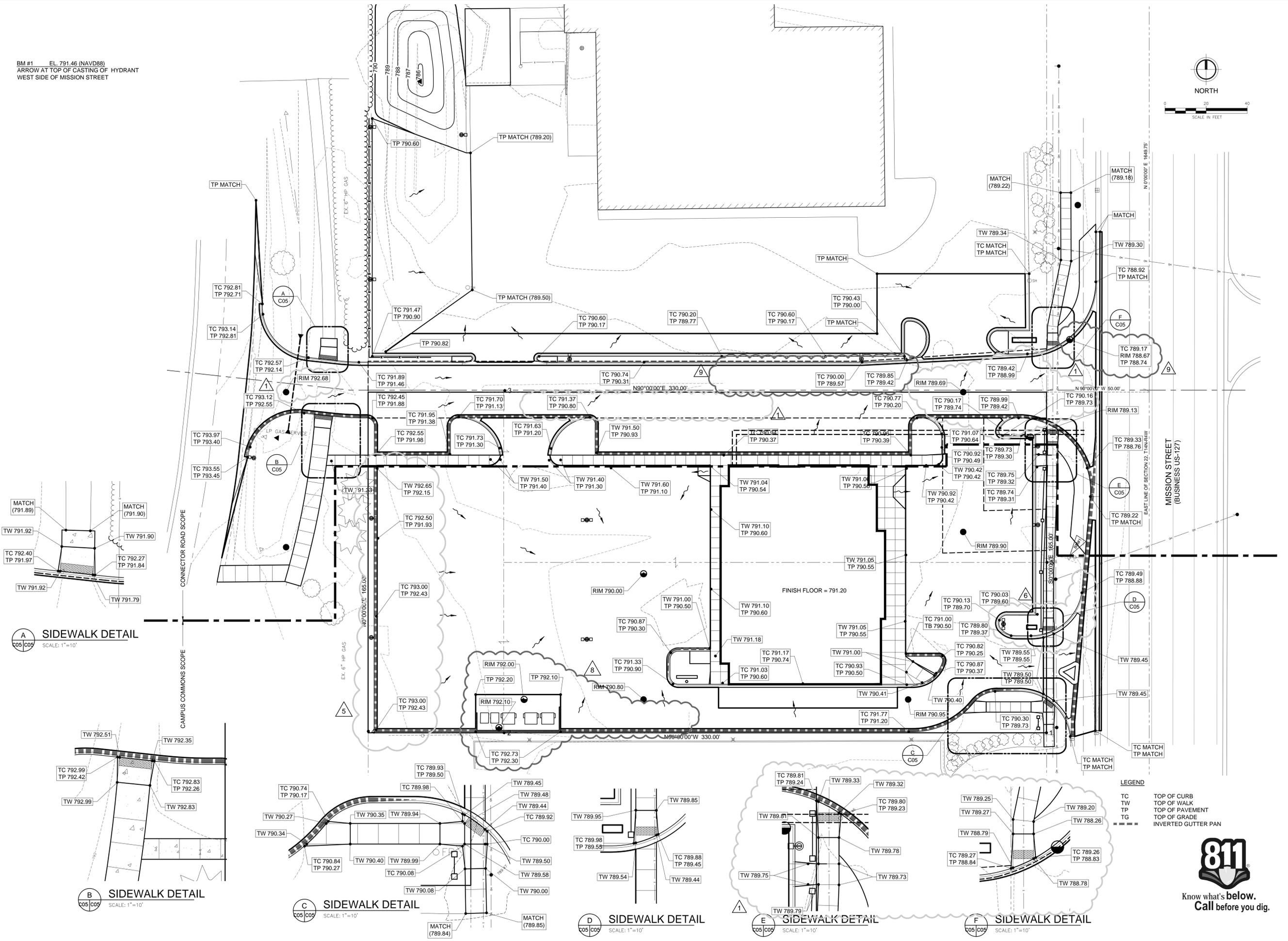
Revised per City Review
 Revised per City Review
 Eliminate Rear Building
 C&M Revisions
 Reroute Storm Sewer
 Revised Dumpster Size
 Revise San & Water Leads
 Issued for Construction

LABELLE LIMITED PARTNERSHIP
MISSION STREET, MT. PLEASANT, MI
CAMPUS COMMONS - SITE DEV. PACKAGE
GRADING PLAN

DESIGN TEAM:
 C05 DRS
 CHECKED BY:
 DRAWING INFORMATION:
 822090-C05-Grading Plan
 100316.dwg/iss

JUNE 2016
 F&W PROJECT NO.
 822090

C05



A SIDEWALK DETAIL
 SCALE: 1"=10'

B SIDEWALK DETAIL
 SCALE: 1"=10'

C SIDEWALK DETAIL
 SCALE: 1"=10'

D SIDEWALK DETAIL
 SCALE: 1"=10'

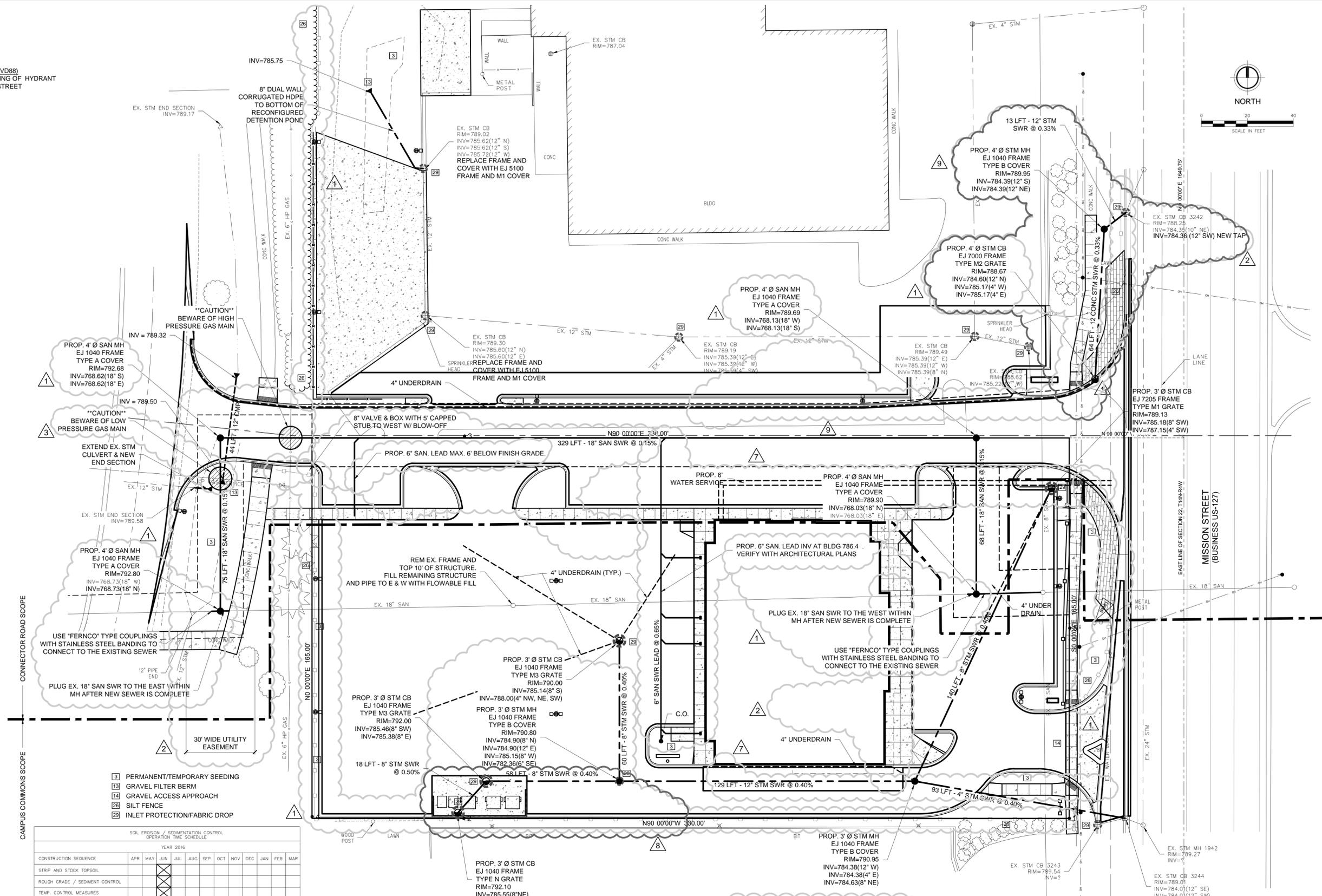
E SIDEWALK DETAIL
 SCALE: 1"=10'

F SIDEWALK DETAIL
 SCALE: 1"=10'

LEGEND
 TC TOP OF CURB
 TW TOP OF WALK
 TP TOP OF PAVEMENT
 TG TOP OF GRADE
 IG INVERTED GUTTER PAN



BM #1 EL. 791.46 (NAVD88)
ARROW AT TOP OF CASTING OF HYDRANT
WEST SIDE OF MISSION STREET



- 3 PERMANENT/TEMPORARY SEEDING
- 13 GRAVEL FILTER BERM
- 14 GRAVEL ACCESS APPROACH
- 26 SILT FENCE
- 29 INLET PROTECTION/FABRIC DROP

CONSTRUCTION SEQUENCE	YEAR 2016											
	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR
STRIP AND STOCK TOPSOIL												
ROUGH GRADE / SEDIMENT CONTROL												
TEMP. CONTROL MEASURES												
BUILDING DEMOLITION												
REROUTE SANITARY												
STORM FACILITIES												
FOUNDATION/BUILDING CONSTRUCTION												
SITE CONSTRUCTION												
PERM. CONTROL MEASURES												
FINISH GRADING												
LANDSCAPING												

SEE SHEET C10 FOR ADDITIONAL NOTES ON SESC.

- GENERAL NOTES:**
- SOIL EROSION AND SEDIMENTATION CONTROL WILL COMPLY WITH ISABELLA COUNTY REQUIREMENTS.
 - ALL DOWNSPOUT LEADS TO BE 6" PVC WATER MAIN TO BE INSTALLED PER CITY STANDARDS.
 - SANITARY SEWER TO BE INSTALLED PER CITY STANDARDS.
 - STORM SEWER FOR CONNECTOR ROAD TO BE INSTALLED PER CITY STANDARDS.
 - MDOT STORM WATER MANAGEMENT REQUIREMENTS WILL BE FOLLOWED.
 - EXISTING WATER SERVICES WILL BE RETIRED AT THE WATER MAIN.



FLEISCHMANN & WANDENBRINK
DESIGN, BUILD, OPERATE

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Revised per City Review
Eliminate Rear Building
Revised Storm Sewer
Revised Dumpster Size
Revised San & Water Leads
Issued for Construction

REVISION	DATE	BY
8/11/16	DRS	
7/18/16	DJD	
6/11/16	DJD	
12/21/15	DRS	
10/21/15	DRS	
9/29/15	DRS	
9/21/15	DRS	
8/21/15	DRS	

LABELLE LIMITED PARTNERSHIP
MISSION STREET, MT. PLEASANT, MI
CAMPUS COMMONS - SITE DEV. PACKAGE
UTILITY PLAN

DESIGN TEAM:
COB DRS
CHECK BY:

DRAWING INFORMATION:
822090-C06-Utility Plan
100316 douglass



Know what's below.
Call before you dig.

JUNE 2016
F&V PROJECT NO.
822090

C06

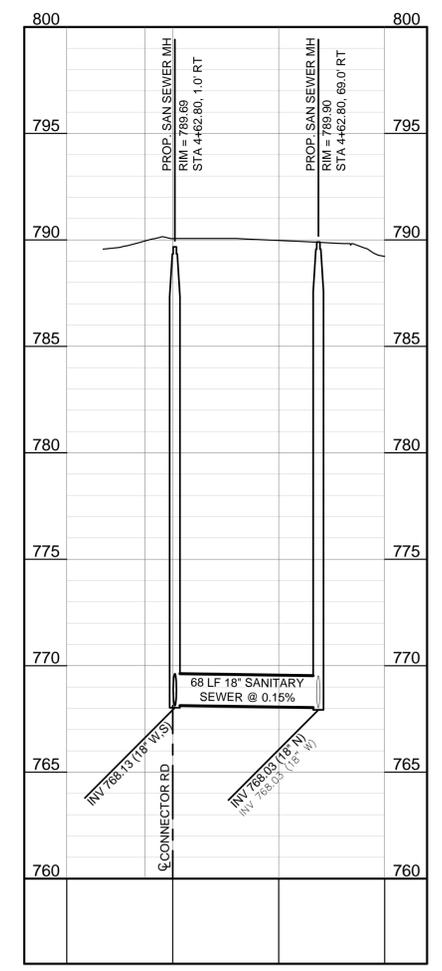
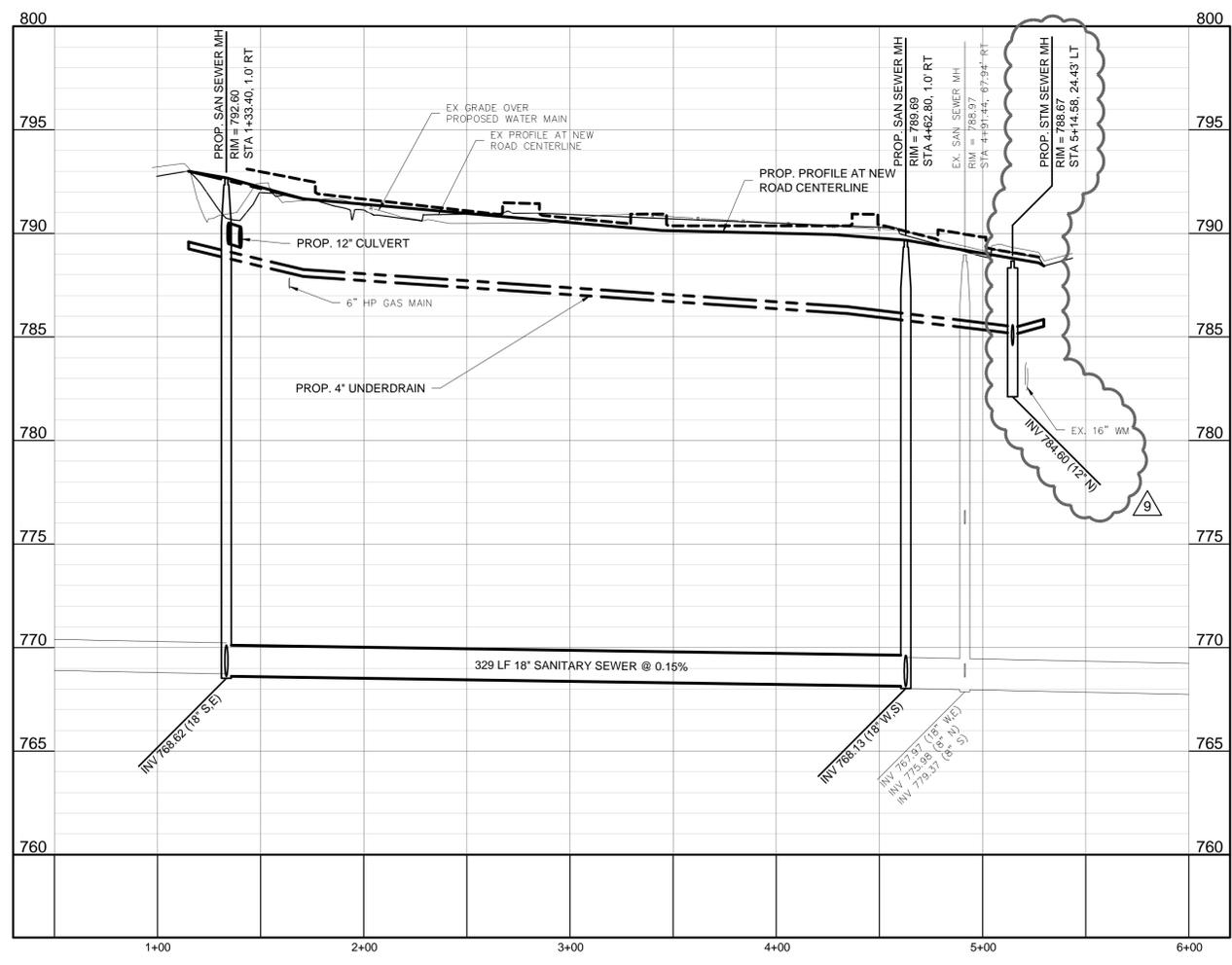
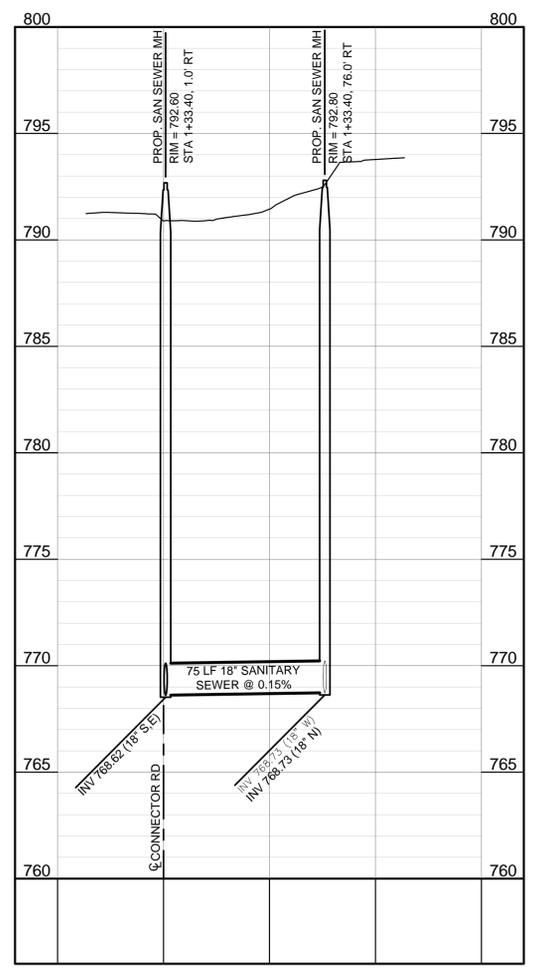
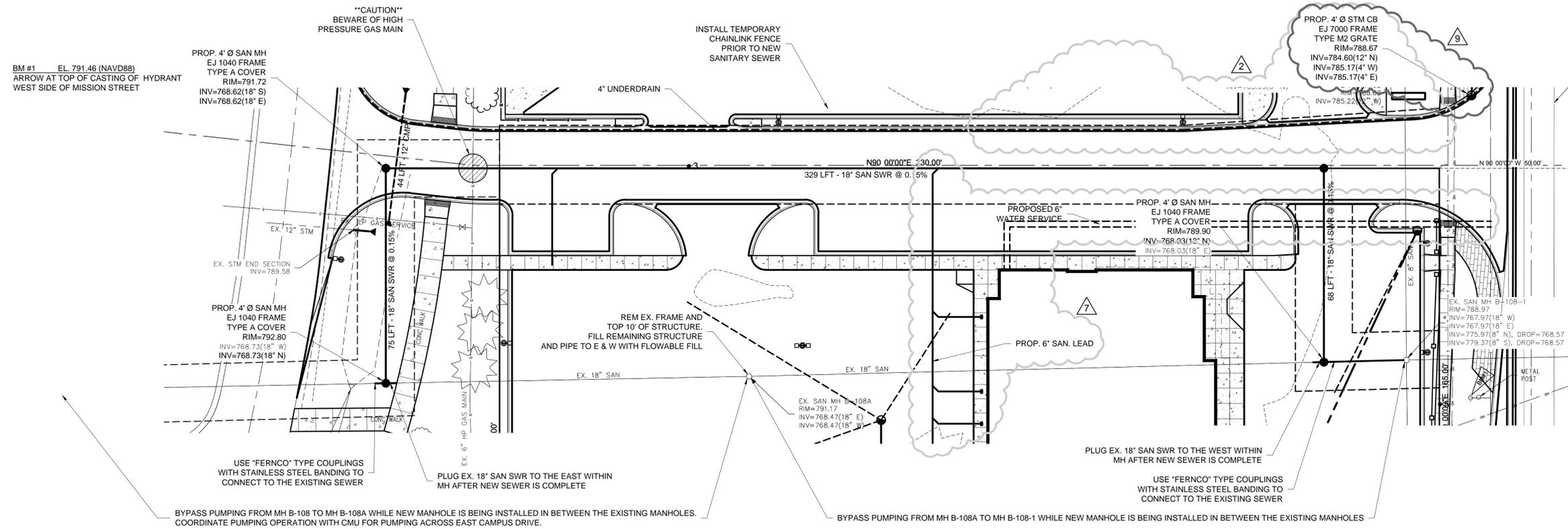
8/11/16	DRS	DRS
7/18/16	DJD	DJD
6/1/16	DJD	DJD
12/21/15	DRS	DRS
10/29/15	DRS	DRS
9/29/16	DJD	DJD
9/21/16	DRS	DRS
8/22/16	DRS	DRS

Revised per City Review
Revised per City Review
Eliminate Rear Building
CNU Revisions
Rear Storm Sewer
Revised Dumpster Size
Revise San & Water Leads
Issued for Construction

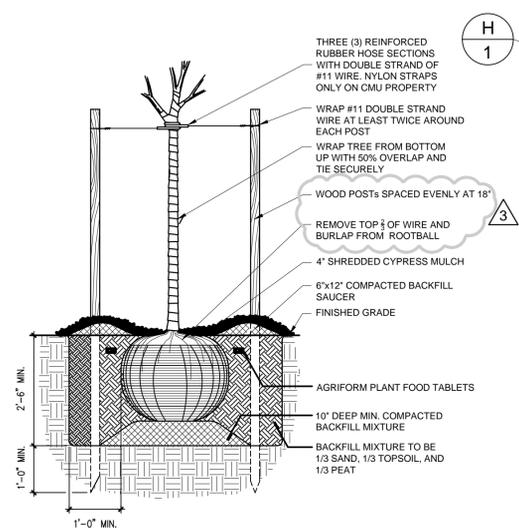
LABELLE LIMITED PARTNERSHIP
MISSION STREET, MT. PLEASANT, MI
CAMPUS COMMONS - SITE DEV. PACKAGE
UTILITY PLAN AND PROFILE

DESIGN TEAM
GOB DRS DJD
CHECK BY:
DRAWING INFORMATION:
822090-C06A-Utility Plan
100316 douglass

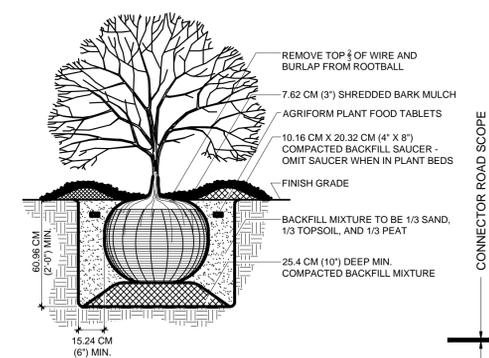
JUNE 2016
F&V PROJECT NO.
822090



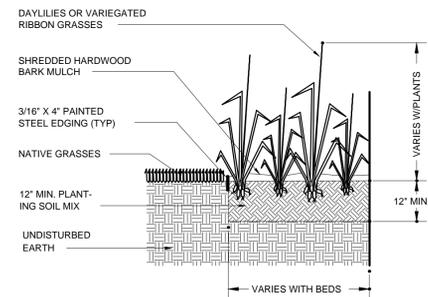
BM #1 EL. 791.46 (NAVD88)
 ARROW AT TOP OF CASTING OF HYDRANT
 WEST SIDE OF MISSION STREET



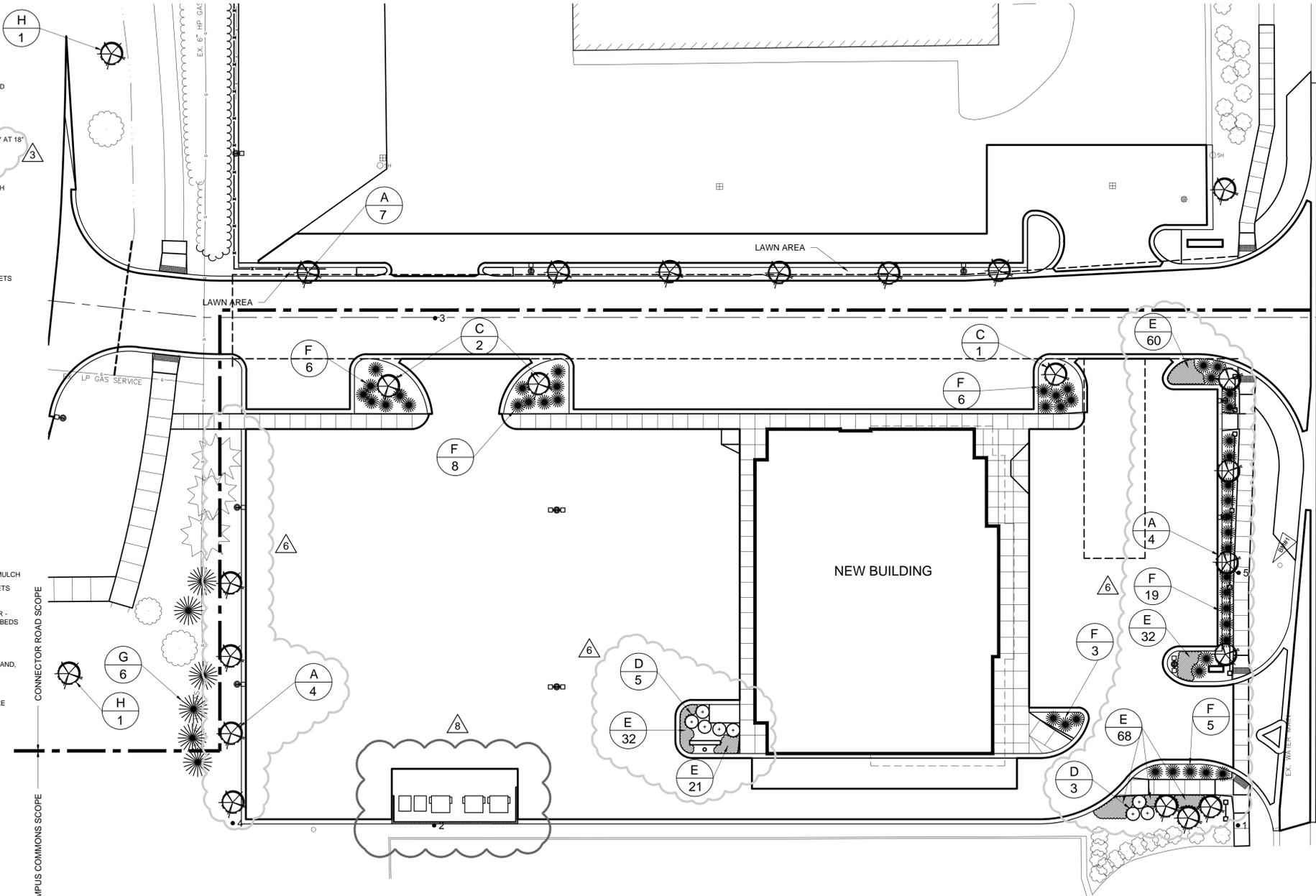
TREE PLANTING DETAIL
 NOT TO SCALE



SHRUB INSTALLATION
 NOT TO SCALE



PERENNIAL BED PLANTING DETAIL
 NOT TO SCALE



PLANT MATERIALS LIST				
KEY.	QTY.	COMMON NAME	SIZE	ROOT
A	15	LITTLE LEAF LINDEN	2" CAL.	B&B
B	NONE	GINKO BILOBA - (GINKO BILOBA)	2" CAL.	B&B
C	3	JAPANESE ZELKOVA - (ZELKOVA SERRATA)	2" CAL.	B&B
D	8	BURNING BUSH - (EUONYMUS ALATUS)	#5	CONT.
E	213	DAYLILLY	2 GAL.	CONT.
F	47	CARPET JUNIPER	2 GAL.	CONT.
G	6	NORWAY SPRUCE	8" MIN.	B&B
H	2	SARGENT CRABAPPLE "SNOWDRIFT"	3" CAL.	B&B

- NOTES:
- ALL PLANTING BEDS TO HAVE 4" SHREDDED CYPRESS MULCH.
 - THE NURSERY TAG THAT SHOWS SPECIES AND CULTIVAR SHALL REMAIN IN PLACE FOR ALL TREES ON CMU PROPERTY.
 - FINAL PLACEMENT OF ALL TREES SHALL BE DETERMINED IN THE FIELD BY OWNER/ENGINEER PRIOR TO PLANTING.

PLANTING NOTES

- ALL SHRUB BEDS SHALL RECEIVE 4" OF EVENLY SPREAD CYPRESS MULCH.
- ALL NEW PLANTING BEDS SHALL BE EDGED WITH 3/16" X 4" ALUMINUM EDGING (PERMALOCK) OR AS APPROVED BY THE OWNER. SEPARATE ALL PERENNIAL AND GROUND COVER BEDS WITH EDGING.
- CONTRACTOR SHALL NOTIFY MISS DIG TO LOCATE ANY UNDERGROUND UTILITY LINES OR STRUCTURES PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE SPECIFIED SHRUBS, GROUNDCOVERS AND OTHER PLANT MATERIALS THAT COMPLY WITH ALL RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK". PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS STOCK, GROWN WITH GOOD HORTICULTURAL PRACTICE AND INSTALLED IN ACCORDANCE WITH METHODS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- SEED SHALL BE PLACED OVER 4" TOPSOIL IN ALL PROPOSED LAWN/SOD AREAS AND ALL AREAS DISTURBED BY CONSTRUCTION, EXCEPT ON CMU PROPERTY. 6" OF TOPSOIL SHALL BE PLACED ON CMU PROPERTY. SEED MIXES SHALL BE AS SPECIFIED.
- ALL PLANTINGS AND LANDSCAPE IMPROVEMENTS SHALL BE CONSISTENT WITH CITY OF MT PLEASANT ZONING REQUIREMENTS.
- ALL TREES MUST BE PLANTED MORE THAN 5' FROM ANY WATER MAIN OR WATER SERVICE.

NOTE:

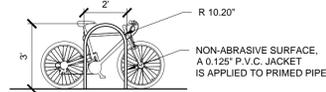
PROVIDE IRRIGATION LINES AS REQUIRED... THE EXACT LOCATION, SIZE, OUTLETS AND SYSTEM TO BE DESIGNED AND SUBMITTED BY THE IRRIGATION CONTRACTOR FOR APPROVAL.

REVISION	DATE	DESCRIPTION
9/29/16	D.J.D.	Revised Dumpster Size
8/11/16	D.R.S.	Revised per City Review
7/18/16	D.J.D.	Revised per City Review
6/11/16	D.R.S.	Eliminate Rear Building
12/31/15	D.R.S.	CMU Revisions
11/20/15	D.R.S.	City of Mt. Pleasant Rev.
9/21/16	D.R.S.	Addendum 01
8/22/16	D.R.S.	Revise San & Water Leads
		Issued for Construction

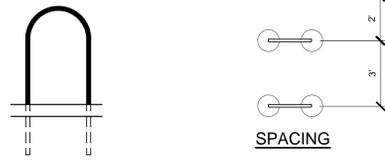
LANDSCAPE PLAN
 CAMPUS COMMONS - SITE DEV. PACKAGE
 MISSION STREET, MT. PLEASANT, MI
 LABELLE LIMITED PARTNERSHIP

DESIGN TEAM:
 COB DRS
 CHECK BY:
 DRAWING INFORMATION:
 822090-C07-Landscape Plan
 092916.dand





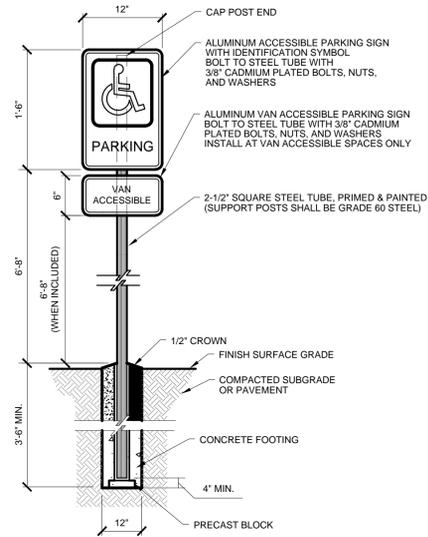
ELEVATION/SECTION



U RACK

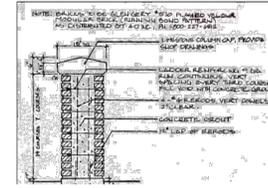
NOTES:
 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWINGS.

BICYCLE RACK
 NOT TO SCALE



BARRIER FREE PARKING SIGN DETAIL
 NOT TO SCALE

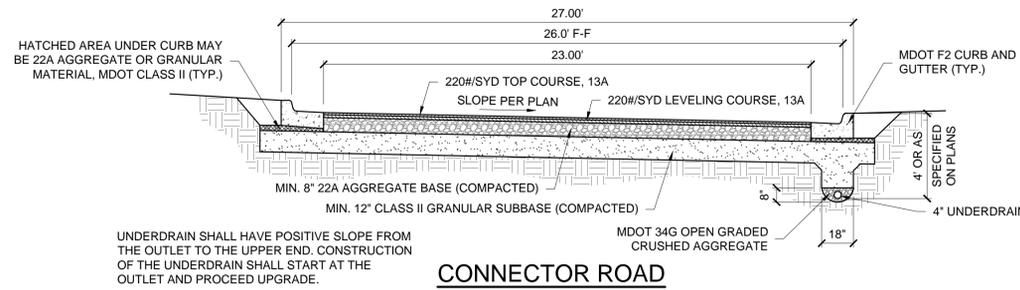
Brick Columns
 Columns shall be of the dimensions illustrated on the Mission Street Decorative Screen options and shown in the illustration below, with appropriate foundations. The brick shall be Glen Gery #510 Flashed Velour Modular Brick, or an approved equivalent. The DDA may, at their sole discretion, approve a similar brick that matches the existing or proposed building.



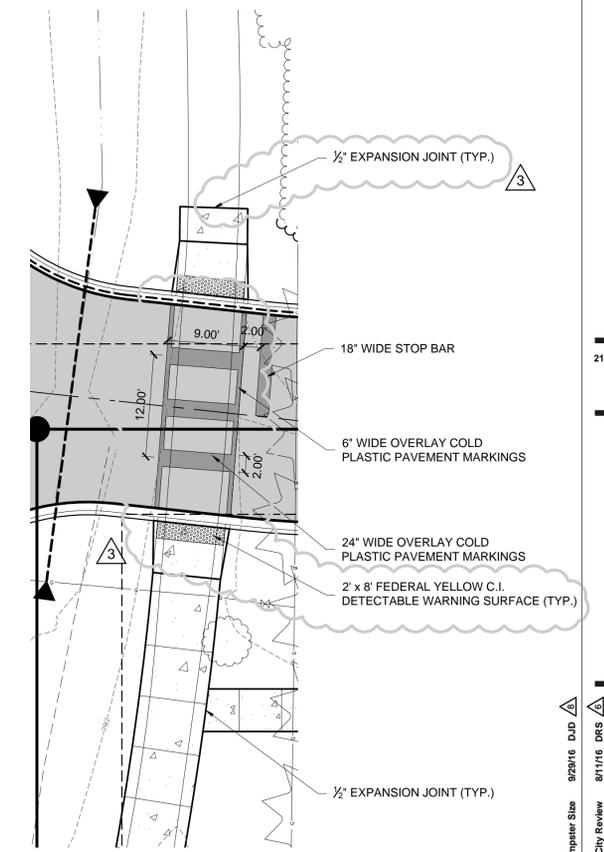
Aluminum Fencing
 The fence style shall be consistent with the Mission Street Decorative Screen Options and approved by the DDA. Fences shall be industrial grade, meeting the following specifications, unless a change is approved by the DDA.

Fence Height:	3'
Fence Color:	Black
Post Dimensions:	3" x 3" .125 wall*
Picket Dimensions:	1" x 1" .062 wall*
Rail Dimensions:	1 1/2" x 1 1/4" .100 side wall, .070 top wall*
*Minimum dimensions	

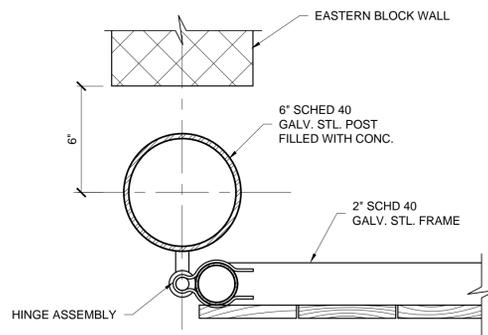
DECORATIVE FENCE DETAIL
 SCALE: 1"=4'-0"



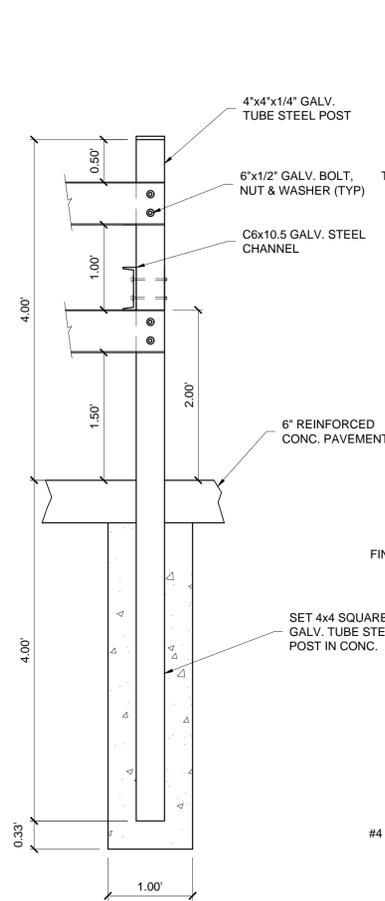
CONNECTOR ROAD TYPICAL SECTION
 SCALE: 1"=4'-0"



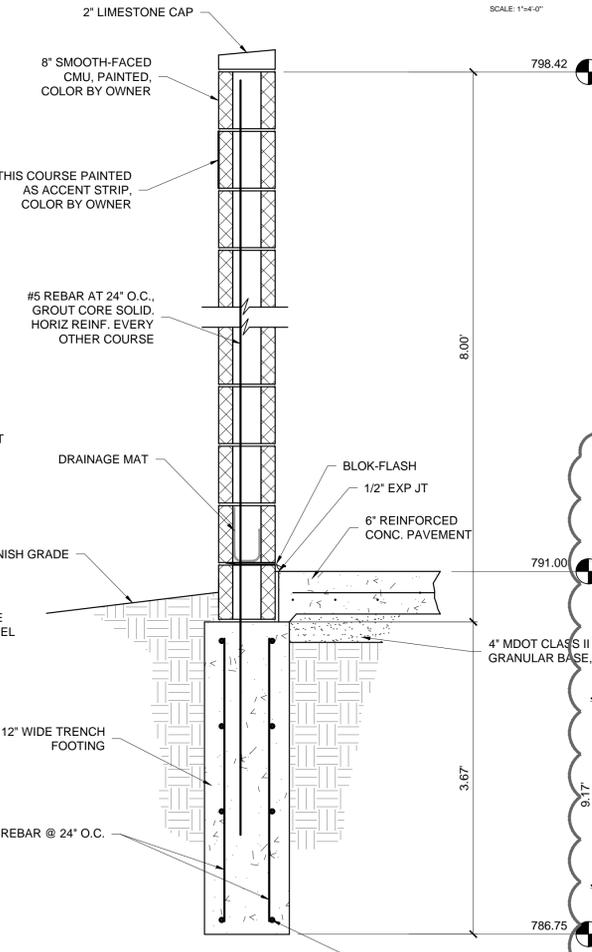
EAST CAMPUS DRIVE PEDESTRIAN CROSSING DETAIL
 SCALE: 1"=10'-0"



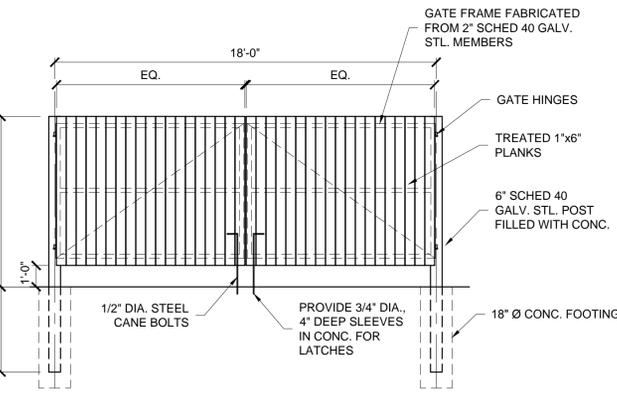
DUMPSTER GATE HINGE DETAIL
 NO SCALE



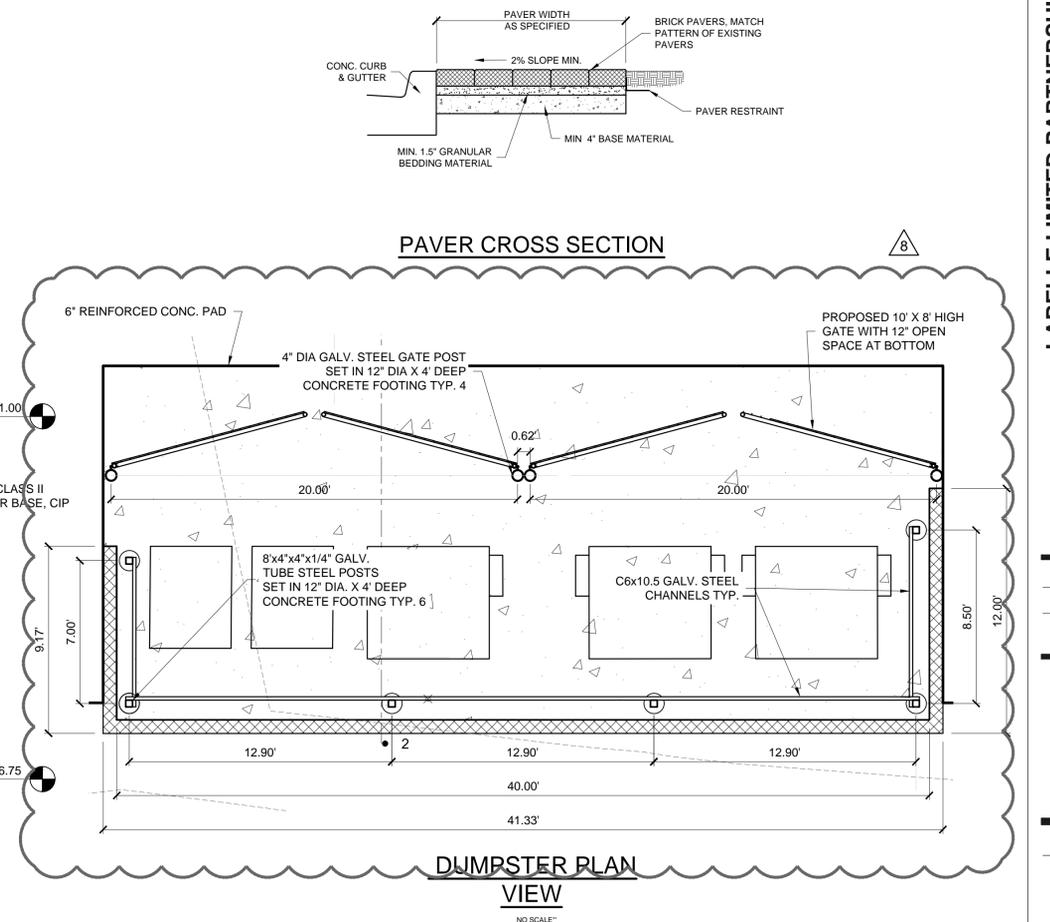
DUMPSTER GUARD RAIL DETAIL
 SCALE: 1"=1'-0"



TYPICAL DUMPSTER WALL SECTION
 SCALE: 1"=1'-0"



DUMPSTER GATE DETAIL
 SCALE: 1"=4'-0"



DUMPSTER PLAN VIEW
 NO SCALE

Revised Dumpster Size	9/29/16	D.D.							
Revised per City Review	8/11/16	DRS							
Revised per City Review	7/18/16	D.D.							
Eliminate Rear Building	6/11/16	D.D.							
C&M Revisions	12/20/15	DRS							
City of Mt. Pleasant Rev.	11/20/15	DRS							
Addendum 01	11/20/15	DRS							
Revised San & Water Leads	9/21/16	DRS							
Issued for Construction	8/22/16	DRS							

REVISION:

Revised Dumpster Size 9/29/16 D.D.

Revised per City Review 8/11/16 DRS

Revised per City Review 7/18/16 D.D.

Eliminate Rear Building 6/11/16 D.D.

C&M Revisions 12/20/15 DRS

City of Mt. Pleasant Rev. 11/20/15 DRS

Addendum 01 11/20/15 DRS

Revised San & Water Leads 9/21/16 DRS

Issued for Construction 8/22/16 DRS

DESIGN TEAM:
 COB DRS

CHECK BY:

DRAWING INFORMATION:
 822090-C09-Detail Sh
 092916.dand

JUNE 2016

F&V PROJECT NO.
 822090

C09

FLEISCHMANN & WANDENBRINK
 DESIGN. BUILD. OPERATE.

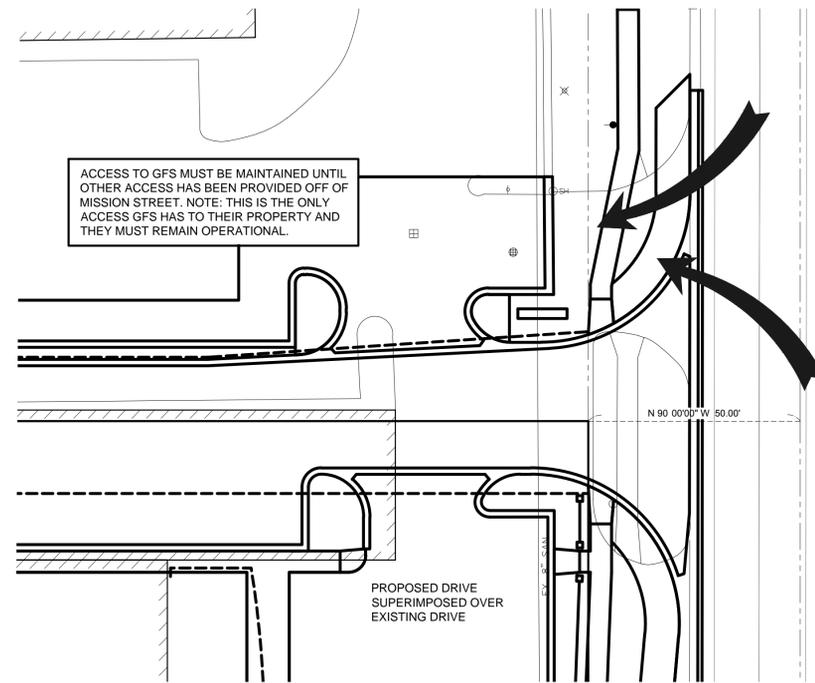
2125 Ridgewood Dr, Suite 101
 Midland, MI 48642
 P: 989.837.3280
 F: 989.837.3290

DETAIL SHEET

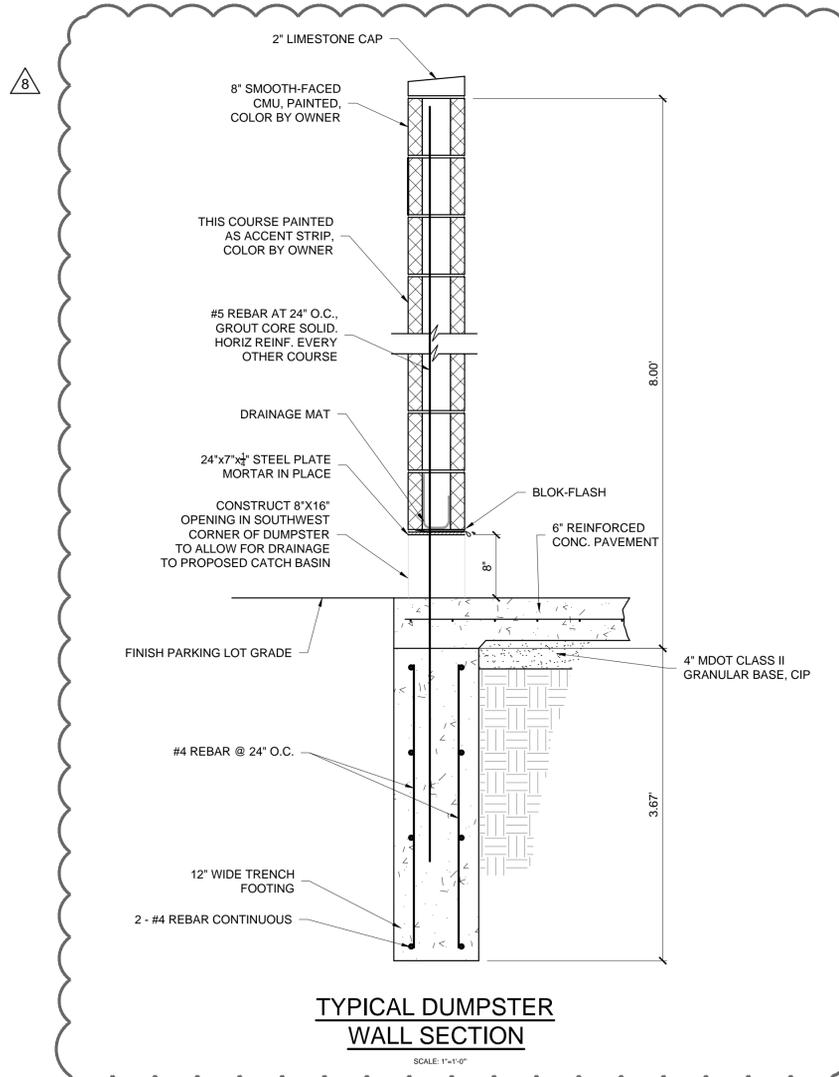
LABELLE LIMITED PARTNERSHIP
 MISSION STREET, MT. PLEASANT, MI
CAMPUS COMMONS - SITE DEV. PACKAGE

SOIL EROSION & SEDIMENTATION CONTROL PLAN

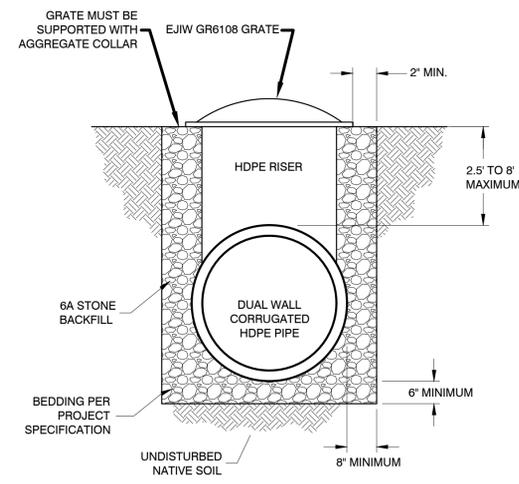
- ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF EXCAVATION AND SHALL REMAIN IN EFFECT UNTIL AREAS ARE STABILIZED.
- THE CONTRACTOR SHALL PLAN ALL EARTH MOVING ACTIVITIES IN A MANNER AS TO MINIMIZE THE EXTENT OF THE DISTURBED AREAS.
- ALL EARTH CHANGES SHALL BE CONSTRUCTED AND COMPLETED IN SUCH A MANNER WHICH SHALL LIMIT THE EXPOSED AREA OF ANY DISTURBED LAND FOR THE SHORTEST POSSIBLE PERIOD OF TIME.
- THE CONTRACTOR SHALL MAKE DAILY INSPECTIONS OF THE SITE TO INSURE EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES, AND SHALL IMMEDIATELY MAKE NECESSARY REPAIRS.
- ALL CONSTRUCTION TRAFFIC SHALL ENTER AND LEAVE BY THE DESIGNATED ENTRANCE. THIS ENTRANCE SHALL BE CONSTRUCTED OF CRUSHED STONE TO HELP FREE TIRES OF SOILS WHEN LEAVING SITE. THE CONTRACTOR SHALL INSTRUCT ALL VEHICLES TO CLEAN ALL SOIL MATERIALS FROM TIRES IN FRONT OF SITE. ALL SOIL, MISCELLANEOUS DEBRIS, OR OTHER MATERIAL SPILLED, DUMPED OR OTHERWISE DEPOSITED ON PUBLIC STREETS, HIGHWAYS, SIDEWALKS, OR OTHER PUBLIC THOROUGHFARES DURING TRANSIT TO OR FROM THE EARTH CHANGE SITE SHALL BE REMOVED PROMPTLY.
- CATCH BASINS LOCATED IN OR NEAR THE SITE SHALL BE PROTECTED TO PREVENT SEDIMENTATION FROM ENTERING THE FACILITY. THE COVERS SHALL BE CHECKED PERIODICALLY AND CLEANED WHENEVER THEY FAIL TO FILTER RUN-OF PAVEMENT SOIL EROSION CONTROL MEASURES SHALL BE COMPLETED WITHIN CALENDAR DAYS AFTER THE FINAL GRADING OR EARTH MOVING ACTIVITY. WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA OR WHEN GRADING ACTIVITY HAS TEMPORARILY CEASED, TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AND MAINTAINED UNTIL PERMANENT CONTROL MEASURES ARE IMPLEMENTED.
- ALL DISTURBED AREAS IN THE EXISTING OR PROPOSED RIGHT-OF-WAY SHALL BE SEEDED, FERTILIZED, AND MULCHED ACCORDING TO M.D.O.T. SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ON THIS SITE. FAILURE TO MAINTAIN THESE DEVICES COULD RESULT IN FINES OR SUSPENSION.
- ALL DISTURBED AREAS AND GREENBELT AREAS ON SITE SHALL HAVE 4" OF ACCEPTABLE TOPSOIL PLACED, SEEDED, MULCHED AND FERTILIZED BY HYRO-SEEDING IN ACCORDANCE WITH MDOT SPECIFICATIONS. CLASS A SEED SHALL BE USED UNLESS OTHERWISE SPECIFIED. MDOT 8.21.09, CHEMICAL FERTILIZER MDOT 8.21.10, MULCH MDOT 8.21.11, CONSTRUCTION METHODS MDOT 6.53.03 THRU 6.53.07, FERTILIZER 25 POUNDS PER 1,000 SF, SEED 7 POUNDS PER 1,000 SF, MULCH 150 POUNDS PER 1,000 SF.
- ALL TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE CONTINUOUSLY MAINTAINED UNTIL THE PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED.
- ALL SOIL TRACKED ONTO PAVEMENT SURFACES ON AND OFF SITE SHALL BE REMOVED DAILY BY THE CONTRACTOR.
- ALL SURPLUS MATERIAL STOCKPILED ON SITE FOR MORE THAN THIRTY DAYS SHALL BE SEEDED AND MULCHED.
- INSTALL TEMPORARY SILT FENCING AROUND ENTIRE SITE PERIMETER (26).



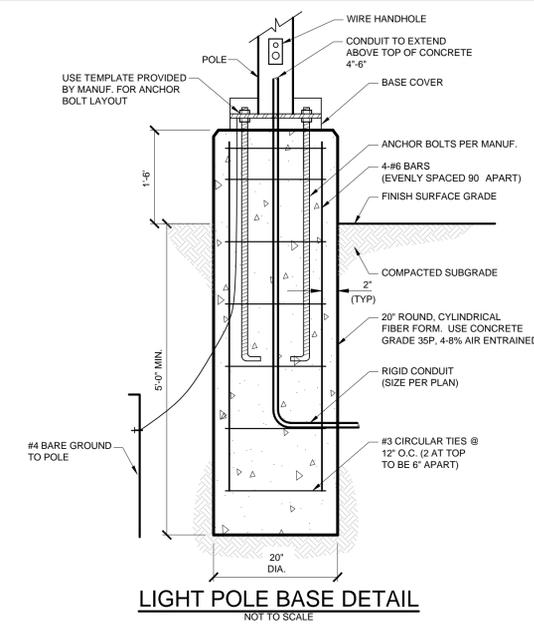
A GFS DRIVEWAY CLARIFICATION
SCALE: 1"=20'



TYPICAL DUMPSTER WALL SECTION
SCALE: 1"=1'-0"



INLET TEE DETAIL
NO SCALE



LIGHT POLE BASE DETAIL
NOT TO SCALE

Revised Dumpster Size	9/29/16	D/D	D/S
Revised per City Review	8/11/16	D/S	D/S
Revised per City Review	7/18/16	D/D	D/D
Eliminate Rear Building	6/1/16	D/D	D/S
CAD Revisions	12/2/15	D/S	D/S
City of Mt. Pleasant Rev.	11/20/15	D/S	D/S
Adendum 01	11/20/15	D/S	D/S
Revise San & Water Leads	9/21/16	D/S	D/S
Issued for Construction	8/22/16	D/S	D/S

LABELLE LIMITED PARTNERSHIP
MISSION STREET, MT. PLEASANT, MI
CAMPUS COMMONS - SITE DEV. PACKAGE

DETAIL SHEET

DESIGN TEAM:
SOB D/S
CHECK BY:
DRAWING INFORMATION:
822090-C10-Detail Sht
093016.dand

JUNE 2016
F&V PROJECT NO.
822090

C10

FLEISCHMANN & WANDENBRINK
DESIGN. BUILD. OPERATE.

2125 Ridgewood Dr, Suite 101
Midland, MI 48642
P: 989.837.3280
F: 989.837.3290



**Mount Pleasant Fire Department
804 E. High Street
Mount Pleasant, Mi 48858**

City of Mt. Pleasant Site Plan Review

Tuesday October 18, 2016

LaBelle Limited Partnership

1720 S Mission ST

Mt. Pleasant, MI 48858

A Site Plan Review was conducted on Tuesday October 18, 2016 and revealed the following requirements listed below.

ORDER TO COMPLY: Since these conditions are contrary to code, you must correct them upon receipt of this notice. Please provide our department the documentation that verifies compliance with the code.

This list shall not be considered all-inclusive, as other requirements may be necessary, additional requirements are located in Chapter 5 and appendixes B, C, and D of the 2012 Edition of the International Fire Code.

If you have any questions regarding this matter, please feel free to contact me at (989) 779-5122.

Violation Code

1 PROPERTY Identification
1720 S. Mission Street
SUP 16-14

Proposed extension to dumpster enclosure.

NO COMMENTS/CONCERNS No Code Violations

In review of the subject property, I have no comments or concerns.

Keeler, Randy

Lieutenant

Mount Pleasant Fire Department



Planning Commission Staff Report
Special Use Permit 16-15 / Site Plan Review 16-22
November 3, 2016
Reviewer: Jacob Kain, City Planner *JMK*

APPLICANT: St. John's Episcopal Church

PROPERTY OWNER: St. John's Episcopal Church

LOCATION: 206 W. Maple

REQUEST: Special Use Permit and Site Plan Review to allow Phase 1 construction of the Narthex to connect the Parish Hall and Church.

SITE AREA: 0.37 acres

ZONING DISTRICT: R-3, Residential

FUTURE LAND USE: Urban Residential

BACKGROUND:

You may recall that the Planning Commission previously approved Special Use Permit 16-03 and Site Plan Review 16-04 for this property on March 3, 2016. At that time, the applicant was proposing to construct an addition to connect the existing church buildings and to move and raise the existing manse.



Figure 1. View of the property from W. Maple looking north.

Subsequently, the applicant has determined that the budget will permit a smaller scale project at this time which has necessitated this new application. The revised proposal would add an addition to connect the

Parish Hall and Church with a 309 square foot one-story addition. Other elements of the previously approved project would be delayed until a future phase.

The church has been located at this site since 1882 and is listed on the National Register of Historic Places. The property also includes a parish house and a manse (minister's home).

At their March 25, 2015 meeting, the Zoning Board of Appeals approved three variances for this project. Those include:

1. A variance from section 154.051(C)(3)(b) to permit an addition and relocation of the Manse (parsonage) on the property within the required 40 ft. setback.
2. A variance from sections 154.120 to allow a reduction in the amount of on-site parking, based on the availability of street parking.
3. An increase in the amount of impervious surface beyond 40% of the lot coverage as required under section 154.095(S) of the zoning ordinance with the condition that any damage to the alley incurred during the construction project be repaired by the applicant.



Figure 2. Zoning and overview map

Land uses and zoning on the surrounding properties are as follows:

	Future Land Use	Zoning
North	Urban Residential	R-3, Residential

East	Urban Residential	R-3, Residential
South	Urban Residential	R-3, Residential
West	Urban Residential	R-3, Residential

The proposed use as a church is permitted in the R-3 zoning district subject to special use permit under Section 154.051 of the Zoning Ordinance (*R Residential Districts*). You will recall that the City Commission amended the Special Use Criteria for churches in the R district at their August 24, 2015 meeting at the recommendation of the Planning Commission. Previously – and at the time of the Zoning Board of Appeals hearing on this project – all buildings were required to be located at least 40 feet from *any* property line. Under the current criteria, this applies only to side or rear property lines when adjacent to a single-family or two-family dwelling.

The following conditions are imposed as a special use:

Special Use Condition	Consistent with Zoning
Access shall be in accordance with § 154.121.	✓
The building shall be at least 40 feet from the side or rear property line when adjacent to a single-family or two-family dwelling.	Variance granted by ZBA 3/25/2015

SITE PLAN REVIEW:

Plan Information – The proposed site conditions comply with all plan information requirements listed in Section 154.169(C) of the Zoning Ordinance including preparation at a readable scale, and location and use of existing and proposed structures.

Height, Bulk, Density, and Area – This property has existing non-conformities that will not be increased as a result of the proposed project.

	Requirement	Proposed	Consistent with Zoning
Front setback (min)	20'	13'-7"	Existing non-conformity
Side setback (min) <i>West</i>	6'-6"	9'-10"	✓
Side setback (min) <i>East</i>	10'	23' 6"	✓
Rear setback (min)	25'	1'-2"	Existing non-conformity
Building height (max)	35'	40'-8"	Existing non-conformity

Parking – Section 154.120 of the Zoning Ordinance (*Schedule of Minimum Spaces*) requires one space for each three seats based on the maximum seating capacity in the main place of assembly. Based upon the seating capacity of 114, the required parking would be 38 spaces. However, the Zoning Board of Appeals approved a reduction to the 4 parking spaces proposed.

Section 154.121 of the Zoning Ordinance (*Location, Space Layout, Construction Standards, and Maintenance*) specifies the design standards applied to parking areas. The proposed parking area satisfies the minimum dimensional requirements for spaces as well as the requirement for hard-surfacing.

Sidewalks – Sidewalks are existing along both W. Maple and S. Washington.

Solid Waste – The proposed location and design for the solid waste collection is consistent with the requirements of Section 154.025 (*Dumpster Enclosures*) of the Zoning Ordinance. The church utilizes a cart for garbage and recycling with collection in the alley.

DIVISION COMMENTS:

Division of Public Works (DPW) – DPW comments are attached.

Division of Public Safety (DPS) – DPS comments are attached.

ANALYSIS:

The proposed special use complies with the minimum requirements of the zoning ordinance. The proposed conditions are consistent with the character of the area and with the future land use identified in the Master Plan. With the findings and analysis stated in this report, the following actions are offered for consideration by the Planning Commission.

STAFF RECOMMENDATION:

Move to approve SUP-16-15 with the following condition:

1. The applicant shall comply with the requirements of the Divisions of Public Works (DPW) and Public Safety (DPS).

Move to approve SPR-16-22.

VIII. SITE PLAN REQUIREMENTS

Site plans for Special Use Permits of more than one acre land shall be sealed by a licensed surveyor, engineer, architect, or community planner, unless specifically waived by the City. Site plan requirements are outlined in Part VIII of the Site Plan Review Application.

IX. APPLICATION DEADLINES

Planning Commission meetings are generally held on the first Thursday of the month at 7:00 p.m. in the City Hall Commission Chambers. The submission deadline for each meeting is described in the attached Planning Commission meeting calendar.

Upon receipt of a complete application and installation of a Zoning Issue sign at the property site (see guidelines for placement), the Planning Commission will hold a public hearing at its next regular meeting. Notice will be published in the Morning Sun and mailed to all property owners within 300 feet of the subject property.

Following the public hearing, the Planning Commission may approve, deny, or approve the request with conditions. Conditions imposed by the Planning Commission are considered an integral part of the Special Use Permit.

X. REVIEW CRITERIA

The Zoning Ordinance imposes the following general requirements on the use requested by the applicant (see Section 154.171 (A) for details). Under each requirement, the applicant should explain, in writing with supporting evidence, how the proposed use satisfies the requirements. For those requirements where there is potential for negative or adverse effects, applicant will propose measures to mitigate such effects.

- (1) The special use shall be one listed as a permitted special use for the zoning district in which the property is located and the special use shall be consistent with the intent and purpose of this chapter and the objectives of the currently adopted Master Plan.

It complies.

- (2) The special use shall be designed, constructed and maintained in a manner which reflects or enhances the character of the surrounding neighborhood within 300 feet measured lot line to lot line. The special use shall be operated in a manner compatible with surrounding land uses within 300 feet. Compatibility includes, but is not limited to, hours of operation and environmental effects (e.g. noise, light, traffic, intensity of use, density).

It Complies.

- (3) Applicant shall demonstrate how the exterior structure is compatible with the surrounding area (defined as adjacent and/or abutting properties including those properties separated by streets alleys or other rights-of-way) and how the use is compatible with surrounding land uses.

Doesn't impact. It blends with property already on this site.

- (4) The special use shall not interfere with the general enjoyment of the surrounding area (defined as adjacent and/or abutting properties including those properties separated by streets alleys or other rights-of-way).

Doesn't impact.

- (5) The applicant shall indicate how the special use will not have an adverse impact on the surrounding neighborhood within 300 feet in regards to traffic, noise, architectural compatibility, hours of operation, light, odors, etc.

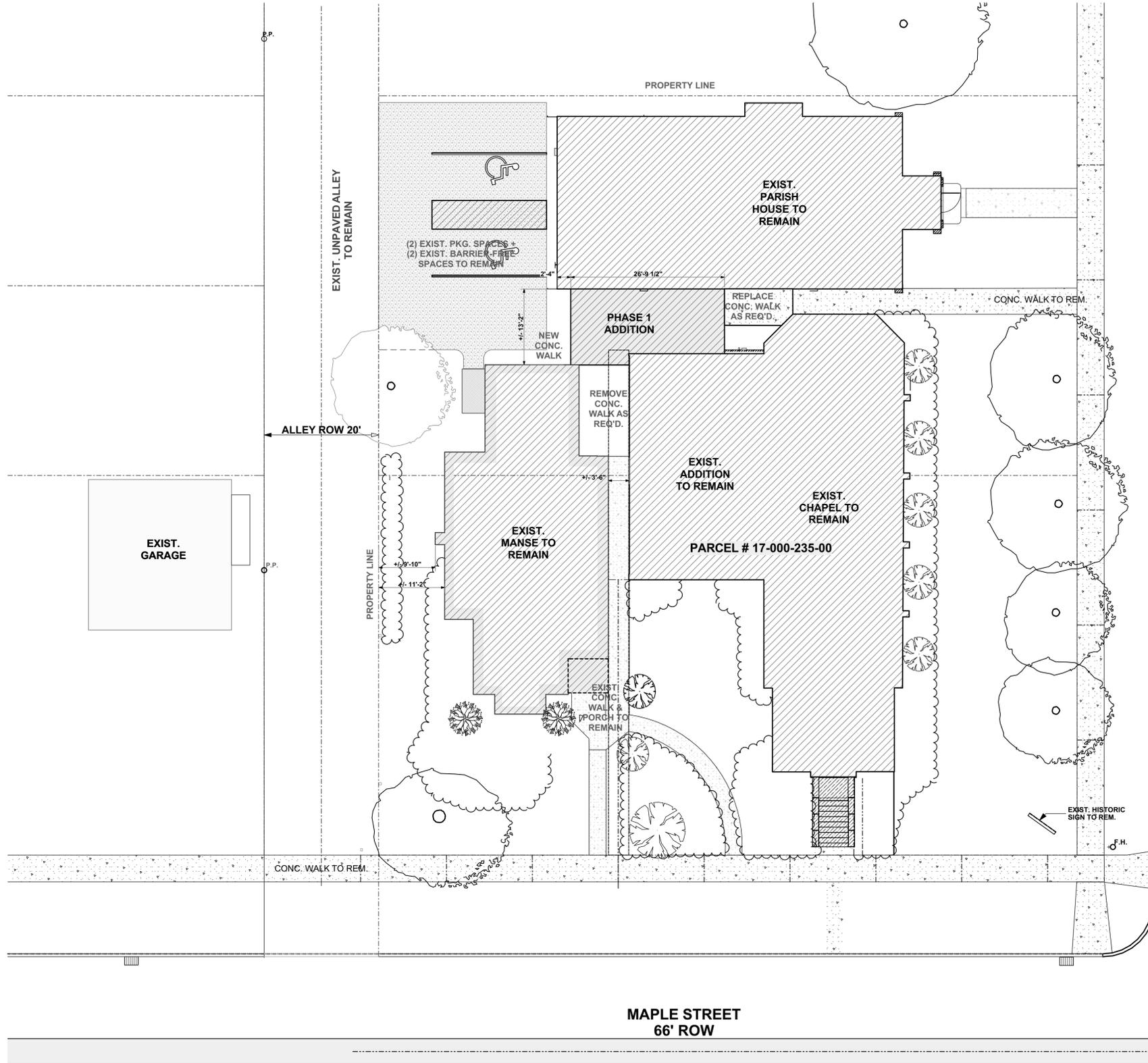
It doesn't.

- (6) The special use shall not be hazardous to the adjacent property, or involve uses, activities, materials or equipment which will be detrimental to the health, safety, or welfare of persons or property through the excessive production of traffic, noise, smoke, odor, fumes or glare.

It doesn't, If anything would help with these items.

- (7) The special use shall be adequately served by the existing capacity of essential public facilities and services, or it shall be demonstrated that the person responsible for the proposed special use shall be able to continually provide adequately for the services and facilities deemed essential to the special use under consideration.

It will help with the day to day.



PHASE 1 SITE PLAN
SCALE: 1" = 10'



**WASSENAAR
WINKLER**
ARCHITECTURE - PLANNING

Waynesboro Office - 203 West 12th Street, Waynesboro, Va 22800
Telephone/Fax (540) 941-3567
Charlottesville Studio - 258 Blue Springs Lane, Charlottesville, Va 22903
Telephone (541) 973-0662

CALLS ON PROJECT SPECIFIC WORK SHOULD BE DIRECTED TO THE LEAD TEAM MEMBER INDICATED BELOW.
LEAD TEAM CONTACT:
GREG WINKLER
greg@wplusedesign.com
(540) 941-3567

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PROJECT TITLE / DESCRIPTION:
**St. John's
Episcopal Church**

PROJECT ADDRESS / LOCATION
206 West Maple Street
Mount Pleasant, Michigan 48858

CLIENT NAME & ADDRESS:
St. John's Episcopal Church
206 West Maple Street
Mount Pleasant, Michigan 48858

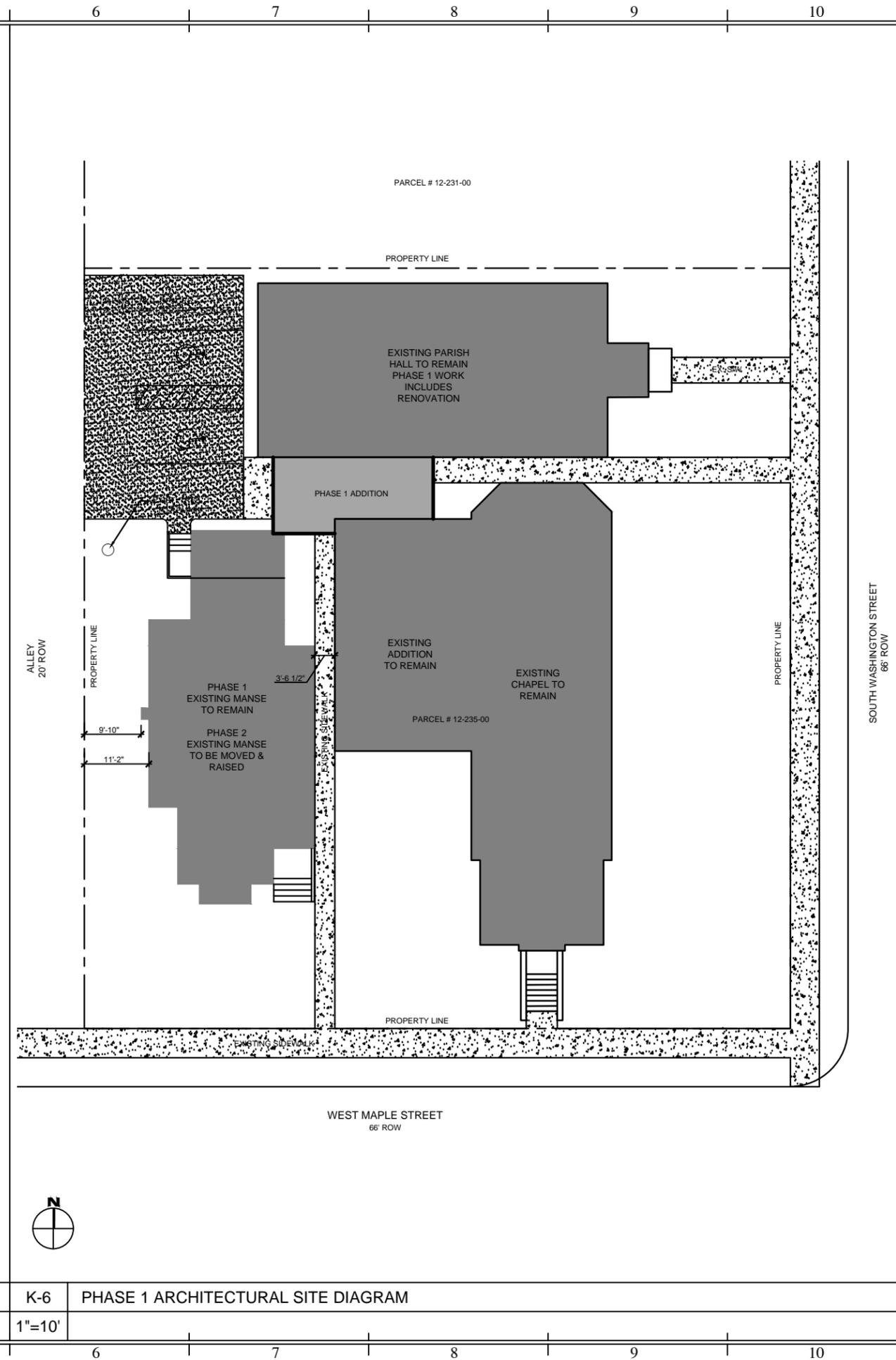
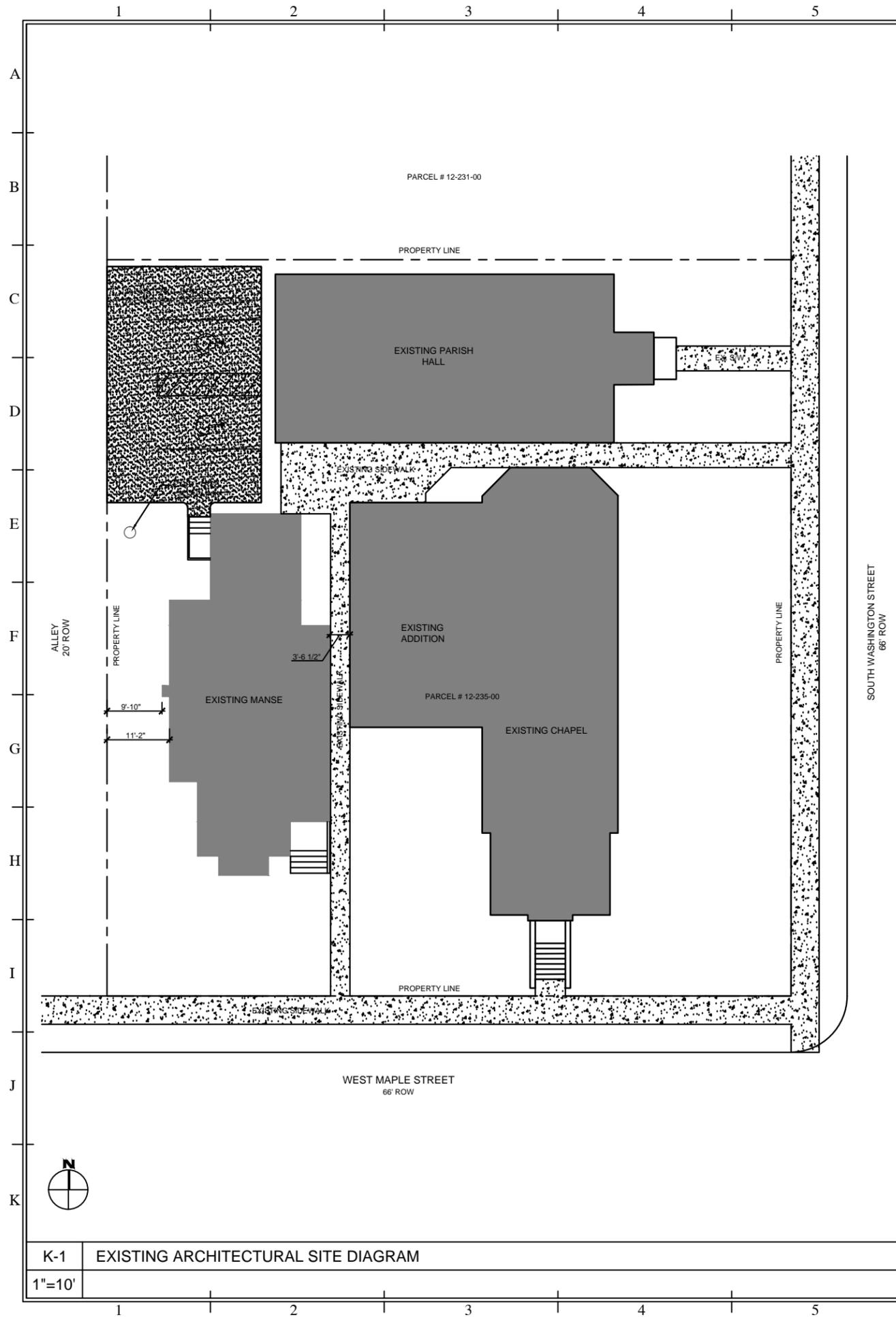
No.	Revision	Date
	PRELIMINARY REVIEW	6-23-16
	CONTECH REVIEW	7-06-16
	ISSUED SET	7-12-16
	PHASE 1	7-12-10

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Checked by KMW

PHASE 1 SITE PLAN

SP-1

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Mount Pleasant, Michigan 48858

CLIENT NAME & ADDRESS:
St. John's Episcopal Church
206 West Maple Street
Mount Pleasant, Michigan 48858

Date 06/13/16

No.	Revision	Date
1	Project Phase Diagram	08/31/16

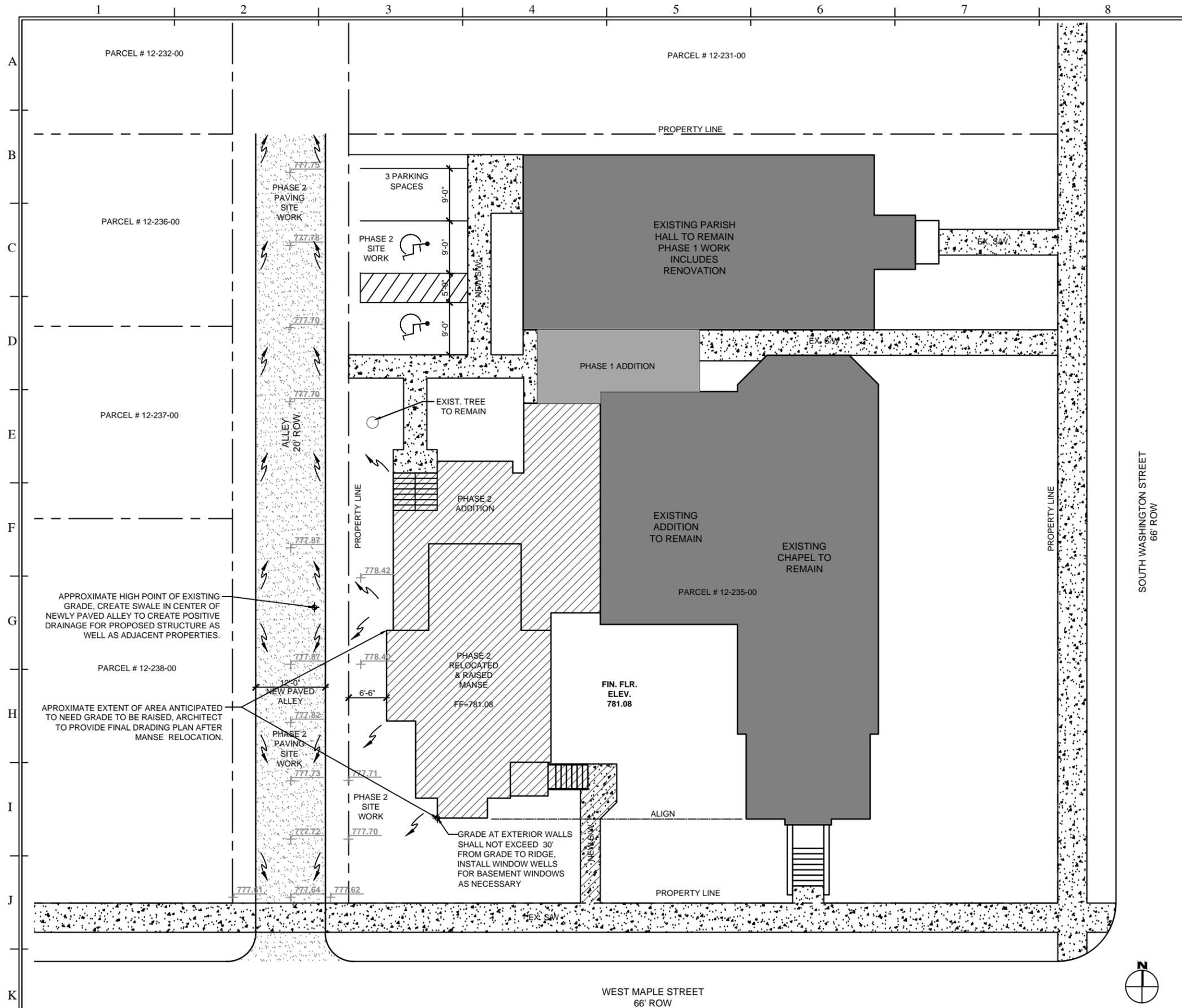
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C-101

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PHASING LEGEND	
	EXISTING CHURCH, PARISH HALL, & MANSE
	PHASE 1 - -LANTERN ADDITION -CONNECTION OF EXISTING CHURCH TO EXISTING PARISH HALL WORK ALSO INCLUDES PARISH HALL RENOVATION
	PHASE 2 - -RE LOCATE MANSE -ADDITION TO MANSE -RENOVATION OF MANSE -CONNECT ADDITION TO EXISTING CHURCH -SEE SHEETS D-101 TO D-105 FOR DEMOLITION SEQUENCE

GRADING LEGEND	
	EXISTING SPOT ELEVATION
	DIRECTION OF DRAINAGE
	VARIOUS NEW SPOT ELEVATION - SEE ADJACENT NOTE FOR DESCRIPTION

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 Charlottesville Studio - 258 Blue Springs Lane, Charlottesville, Va 22903
 Telephone (434) 973-9862

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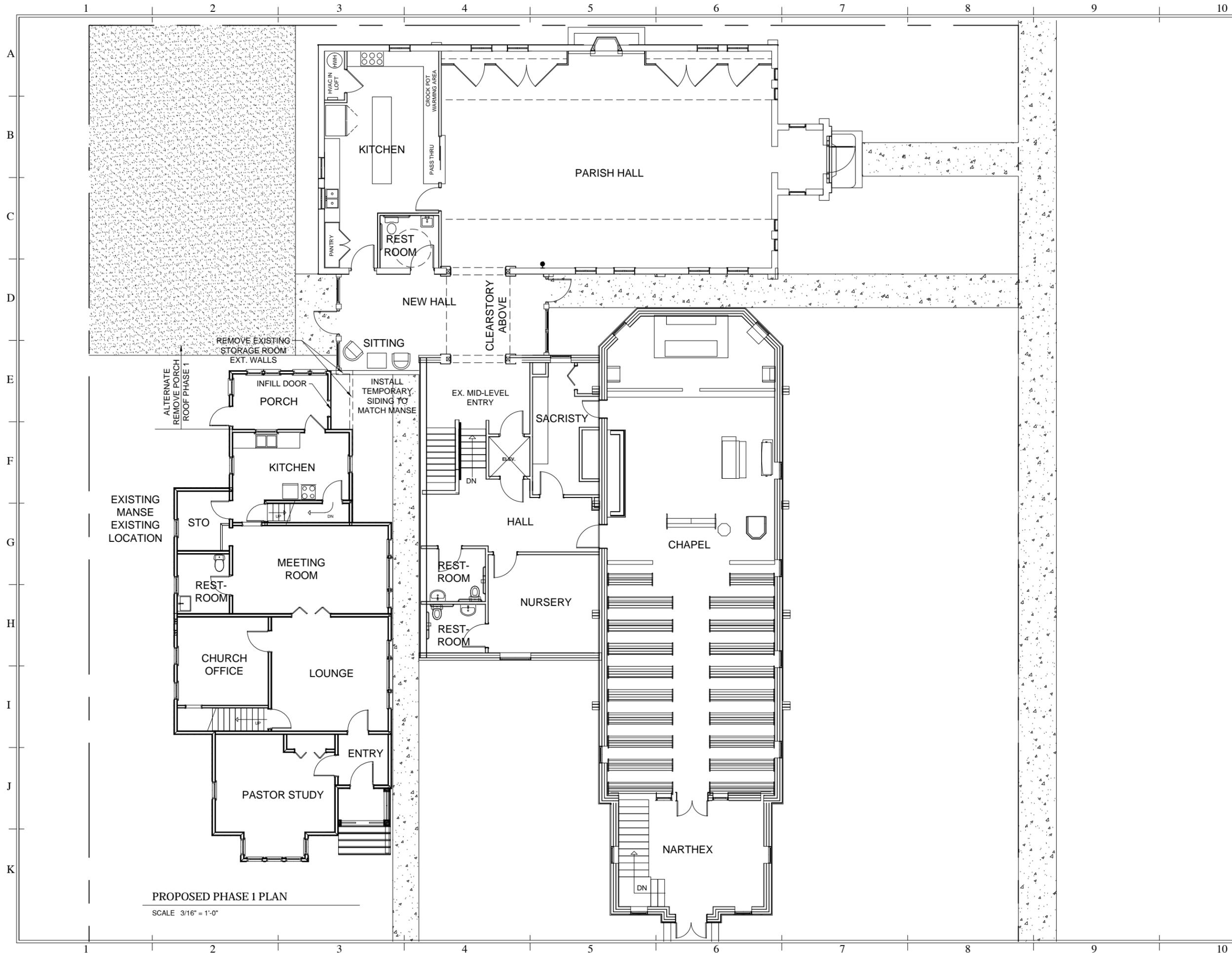
Date	Revision	Date
	06/13/16	
1	Project Phase Diagram	08/31/16

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K-1 PHASE 2 ARCHITECTURAL SITE DIAGRAM
 1/8"

K-9 LEGENDS



PROPOSED PHASE 1 PLAN
SCALE 3/16" = 1'-0"



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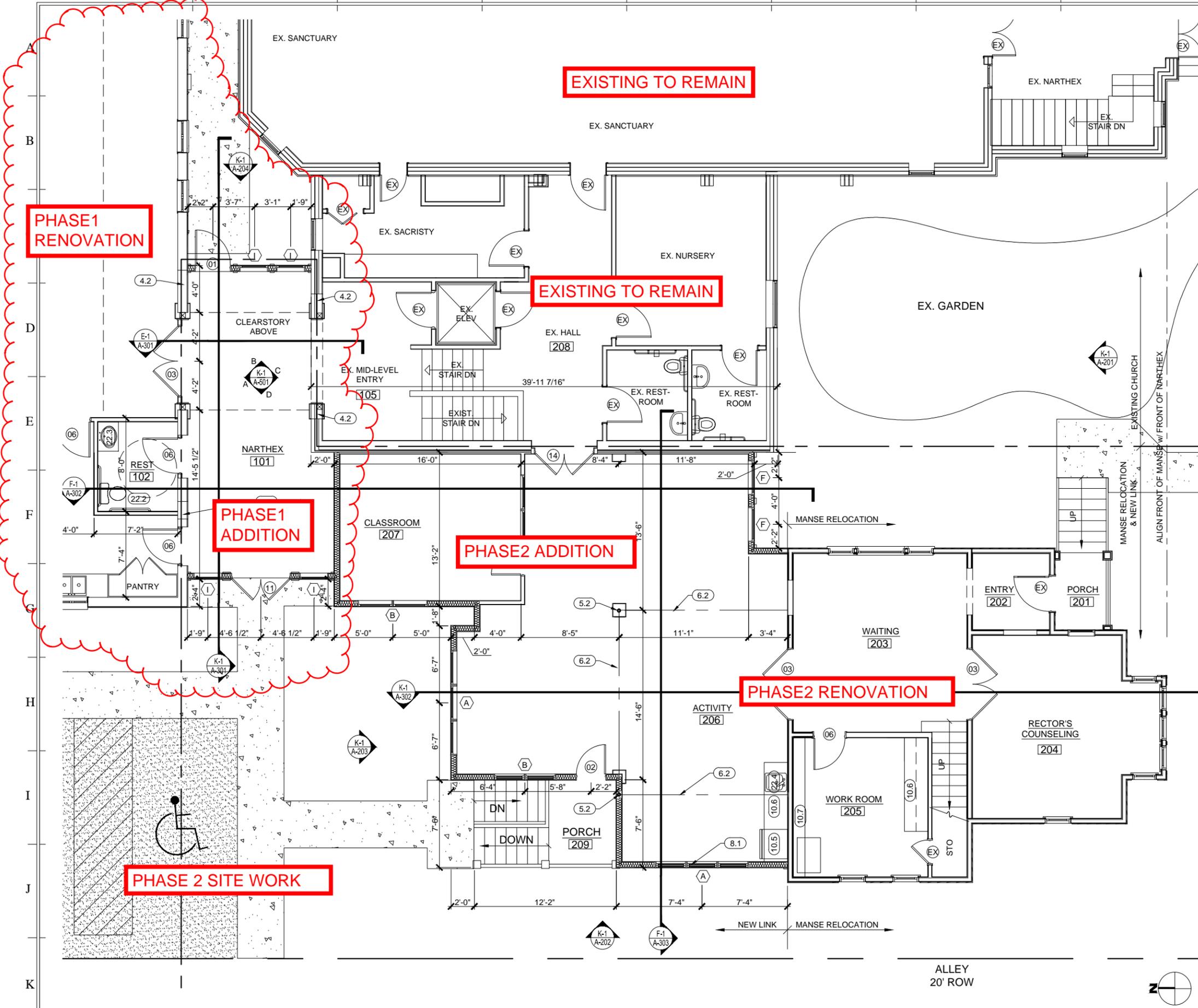
CLIENT NAME & ADDRESS:
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206 West Maple Street
Mount Pleasant, Michigan 48858

No.	Revision	Date
1	Phase/Exhibit Program	08/24/16

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A-2
PHASE EXHIBIT

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KEYNOTES (APPLY TO PLAN SHEETS ONLY)

- MISCELLANEOUS:**
- 1.1) ROOF OVERBUILD
 - 1.2) NEW ROOF BELOW
 - 1.3) UNKNOWN BEARING CONDITION. DEMO CEILING FINISH & NOTIFY OWNER & ARCHITECT OF EXISTING MEMBERS & SPANS.
- SITWORK:**
- 2.1) 4" PERF FOUNDATION DRAIN PIPE TO OPEN AIR SEE C-101 FOR OUTLET.
 - 2.2) 4" SOLID DRAIN PIPE TO OPEN AIR SEE C-101 FOR OUTLET.
 - 2.3) 4" FLOOR DRAIN CONNECT TO SUMP PUMP & SMW SYSTEM.
- CONCRETE:**
- 3.1) 2'-0" x 10" THK. CONT. CONCRETE STRIP FTG.
 - 3.2) 12" CAST IN PLACE CONC. FOUNDATION WALLS
 - 3.3) 4" CONCRETE SLAB ON GRADE w/ 6x6 WWF @ MID DEPTH OVER 6 MIL VAPOR BARRIER.
 - 3.4) 3'-0" x 3'-0" x 12" THK. CONCRETE FTG. w/ # 4 REBARS EACH WAY (TYP. OF 2)
 - 3.5) 2'-0" x 2'-0" CONC. PIER (TYP. OF 2)
 - 3.6) 8" THICKENED SLAB FOR BEARING WALL ABOVE
 - 3.7) WINDOW WELL - 6" POURED CONCRETE RETAINING WALL WHEN REQUIRED BY FINAL GRADES MAX 30'-0" GRADE TO ROOF RIDGE.
- MASONRY:**
- 4.1) 4" BRICK VENEER.
 - 4.2) MASONRY INFILL WALL TO MATCH.
- METALS:**
- 5.1) PRE-FINISHED ALUMINUM GUTTER & DOWNSPOUT.
 - 5.2) 3" STEEL COLUMN w/ SIMPSON BASE PLATE & SIMPSON CCOSS.5 CONN. AT TOP OF COLUMN OR EQUAL.
 - 5.3) 12" x 1/2" STEEL DOWEL INTO EXISTING FOOTING.
 - 5.4) FLASHING AT ALL ROOF INTERSECTIONS w/ VERTICAL SURFACES.
 - 5.5) STEEL BEAM SEE A-107.
- WOOD & PLASTICS:**
- 6.1) 11 7/8" TJI 230 FLOOR JOIST @ 1'-0" O.C.
 - 6.2) LVL (BEAM TO BE SIZED)
 - 6.3) PORCH BEAM (TO BE SIZED)
 - 6.4) PRE-ENGINEERED TRUSS HIP ROOF SYSTEM @ 2'-0" O.C.
 - 6.5) DECK, w/ TRT. FRAMING & NEW COMPOSITE DECKING
 - 6.6) 8x8 COLUMN w/ 1x MIRATEC BASE AND CAPITAL TRIM
 - 6.7) 8x8 PILASTER w/ 1x MIRATEC BASE AND CAPITAL TRIM
 - 6.8) 4x4 COLUMN w/ 2x CAPITAL @ 42" AFF (TYPICAL)
 - 6.9) 2x4 WD. RAIL @ 42" AFF WITH 1x PICKETS
 - 6.10) 2x4 LOAD BEARING WALL
 - 6.11) BEAM TO BE SIZED AFTER OPENING EXISTING CEILING & TRACKING LOAD PATHS.
- THERMAL & MOISTURE PROTECTION:**
- 7.1) NEW 30 YEAR ARCHITECTURAL GRADE SHINGLE ROOFING MATERIAL. TYPICAL
 - 7.2) SOUND BATTING INSULATION IN WALLS AND CEILING
 - 7.3) FULLY ADHERED 60 MIL. EPDM ROOFING MEMBRANE
- DOORS & WINDOWS:**
- 8.1) ALUMINUM CLAD WOOD WINDOWS (SEE SHEET A-001 FOR DETAILS).
 - 8.2) ALUMINUM CLAD WOOD ENTRY DOOR w/ TRANSOM & SIDELIGHT(S) (SEE SHEET A-001 FOR DETAILS)
 - 8.3) ALUMINUM CLAD WOOD CLERESTORY WINDOW (SEE SHEET A-001 FOR DETAILS).
 - 8.4) SLIDING GLASS DOOR TO CREATE PASS THRU. ALT OVERHEAD SHUTTER TYPE DOOR.
- SPECIALTIES:**
- 10.1) INTERIOR STAIR, 11'-2 1/8" FL. TO FL. (19) RISER @ 7 1/16" (16) TREAD @ 11" & 2 MID LANDINGS.
 - 10.2) REFRIGERATOR
 - 10.3) DISHWASHER
 - 10.4) TOP LOAD WASHER & DRYER.
 - 10.5) UNDER COUNTER REFRIGERATOR
 - 10.6) COUNTERTOP AND CABINETS, OWNER TO SELECT STYLE AND TYPE
 - 10.7) SHELING, OWNER TO SELECT STYLE AND TYPE
 - 10.8) CROCK POT WARMING AREA.
- PLUMBING:**
- 22.1) 3'-6" x 3'-0" FIBERGLASS SHOWER w/ GLASS DOOR
 - 22.2) TOILET
 - 22.3) BATHROOM SINK w/ VANITY
 - 22.4) SINGLE BAR SINK
 - 22.5) DEEP LAUNDRY SINK
 - 22.6) 3'-0"x5'-0" FIBERGLASS SHOWER
 - 22.7) FROST FREE HOSE BIB
- HVAC:** SEE SHEETS M101 TO M103
- 23.1) EXISTING AHU IN ATTIC
 - 23.2) NEW AHU IN ATTIC
 - 23.3) NEW AHU IN MECH ROOM

WALL LEGEND	
	12' CMU FOUNDATION WALL
	8' CMU WALL w/ BRICK VENEER ABOVE GRADE.
	2x6 WOOD STUD @ 1'-4" O.C. EXTERIOR WALL CONSTRUCTION.
	2x4 WOOD STUD @ 1'-4" O.C. INTERIOR WALL CONSTRUCTION.
	2x6 WOOD STUD @ 1'-4" O.C. INTERIOR WALL CONSTRUCTION.
	2x4 WOOD LOAD BEARING WALL @ 1'-4" O.C. INTERIOR WALL CONSTRUCTION.

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 Mount Pleasant, Michigan 48858

CLIENT NAME & ADDRESS:
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 Mount Pleasant, Michigan 48858

Date	06/13/16	
No.	Revision	Date

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 Checked by: KMW

A-103

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K-1 MAIN FLOOR PLAN
 1/4"

K-9 KEYNOTES



**Mount Pleasant Fire Department
804 E. High Street
Mount Pleasant, Mi 48858**

City of Mt. Pleasant Site Plan Review

Tuesday October 18, 2016

St. Johns Episcopal Church (House)

206 W Maple ST

Mt. Pleasant, MI 48858

A Site Plan Review was conducted on Tuesday October 18, 2016 and revealed the following requirements listed below.

ORDER TO COMPLY: Since these conditions are contrary to code, you must correct them upon receipt of this notice. Please provide our department the documentation that verifies compliance with the code.

This list shall not be considered all-inclusive, as other requirements may be necessary, additional requirements are located in Chapter 5 and appendixes B, C, and D of the 2012 Edition of the International Fire Code.

If you have any questions regarding this matter, please feel free to contact me at (989) 779-5122.

Violation Code

DUMPSTERS Dumpster Locations

Dumpster's and containers with an individual capacity of 1.5 cubic yards or more shall not be stored in buildings or placed within 5 feet of combustible walls, openings or combustible roof eave lines in accordance with Chapter 3, Section 304, and 304.3.3 of the 2012 Edition of the International Fire Code.

1 PROPERTY Identification

206 W Maple St.

St. John's Episcopal Church

Phase 1

SUP -16-15

SUP -16-22

ACCESS ROAD 150 FT Buildings within 150ft of Access Road

All portions of a building are required to be within 150 feet of an approved Fire Department access road, in accordance with Chapter 5, Section 503.1.1 of the 2006 Edition of the International Fire Code.

Site Plan meets requirement.

City of Mt. Pleasant Site Plan Review

BUILDING IDENTIFICATION Buildings Shall Have Address

Provide building identification numbers in accordance with Chapter 5, Sections 505.1 and 505.2 of the 2006 Edition of the International Fire Code.

Will verify during inspections.

WATER SUPPLY (SPACING) Number and Spacing of Hydrants

Provide fire hydrant locations in accordance with Chapter 5, Section 508.5.1 of the 2006 Edition of the International Fire Code. The number and spacing of fire hydrants is based on the construction type and square footage of the building in accordance with Appendix B and C and tables B105.1 and C105.1 of the 2006 Edition of the International Fire Code.

The proposed project meets the requirements.

Keeler, Randy
Lieutenant
Mount Pleasant Fire Department



THE CITY OF MT. PLEASANT, MICHIGAN

CITY HALL

320 W. Broadway • 48858-1698
(989) 779-5300
(989) 773-4691 fax

PUBLIC SAFETY

804 E. High • 48858-3595
(989) 779-5100
(989) 773-4020 fax

PUBLIC WORKS

1303 N. Franklin • 48858-4682
(989) 779-5400
(989) 772-6250 fax

Site Plan Review – DPW Office Comments

SPR-16-22
Due Date: 2016-10-21

Address of Development: **206 W Maple Street**

Project Description: Project only consists of phase 1 construction of the Narthex. This addition will connect the Parish Hall and Church.

Submit two (2) sets of the final site plan and storm water detention calculations for final site plan review and D.P.W. permit fees determination.

Director:

Engineering:

- Comply with storm water management requirements and submit plans and calculations for review.
- Grading for storm water runoff from improvements shall not adversely affect adjacent properties.
- Comply with Isabella County SESC requirements.
- Sidewalk through driveways must be minimum 6" thick.
- All broken sidewalk must be replaced.
- Grease/Oil trap may be required.
- Sewer capacity charge will apply based on water meter size (if applicable).
- Contractor/owner shall repair any damage done to the alley due to construction activities.

Street Department:

Water Department: No issues or concerns to the Water Dept. MF.

Wastewater Department: No issues of concern to this Department. S. Hein



MEMORANDUM

TO: Planning Commission

FROM: Jacob Kain *JVK*
City Planner

DATE: November 3, 2016

SUBJECT: Administrative reviews

Since your October 6, 2016 meeting, staff has reviewed and approved the following site plan administratively:

<u>Application</u>	<u>Address</u>	<u>Owner</u>	<u>Approval Date</u>
SPR-16-17	616 E. Broadway	Broadway Realty & Associates LLC	10/18/2016

Description: The approved site plan will allow for the modification of the roofline of an existing office building and the addition of a front porch.

PLAN THE FUTURE

HELP CREATE A CITY-WIDE CHARACTER-BASED CODE

What's a Character-Based Code?

A character-based code is a land development regulation that fosters predictable built results by using the physical form of the buildings as the organizing principle for the code. This is in contrast to a conventional zoning ordinance such as the one in Mt. Pleasant, which separates buildings and neighborhoods based on their uses. By adopting a character-based code, Mt. Pleasant will protect and enhance the character of its most-loved neighborhoods and ensure high-quality future development throughout the city.



SCHEDULE

All Events Open To The Public!

FRIDAY NOVEMBER 18TH CITY HALL COMMISSION CHAMBERS

7:00pm Opening Presentation and Hands-on Workshop
Free Apple Cider & Donuts For All Participants!

SATURDAY NOVEMBER 19TH CITY HALL COMMISSION CHAMBERS

Design Studio open to the public from 9am to 11pm

9:00am Downtown Mt. Pleasant Roundtable Meeting
11:00am Corridor Redevelopment Roundtable Meeting
1:30pm CMU/City Liaison Roundtable Meeting
3:30pm Economic Development & Industrial Districts Roundtable Meeting

SUNDAY NOVEMBER 20TH CITY HALL COMMISSION CHAMBERS

Design Studio open to the public from 9am to 11pm

MONDAY NOVEMBER 21ST CITY HALL COMMISSION CHAMBERS

Design Studio open to the public from 9am to 5pm
7pm Work-in-Progress Presentation

PLANAPALOOZA



2016

What's a Planapalooza?

\plan•uh•puh•loo•zuh\ n.

A Planapalooza is an intense, participatory design, and public input process where you are invited to work directly with your neighbors and a multidisciplinary consulting team. The entire process is open to the public at all times. So please join us as we work together to create a character-based code that will protect and enhance Mt. Pleasant and set a clear vision for the future.

For more information visit: www.mt-pleasant.org and search Planapalooza

PRESENTED BY:



AND

